



# FAMILY PARTNERS MANCHESTER

**351-377 FOREST SUMMIT COURT  
MANCHESTER, MISSOURI 63021**

**ADDENDUM 1**

**06/12/2019**



Shaping Your Environment  
through

**ZWACK+GANDT ARCHITECTURE, INC.**

Insight Leadership Creativity Dedication

THE PROFESSIONALS INDICATED BELOW AND THEIR DRAWINGS LISTED INDICATED THE NAMED PROFESSIONAL HAS PREPARED AND/OR DIRECTED THE PREPARATION OF THE INFORMATION SHOWN ON THESE DOCUMENTS. ALL DRAWINGS AND DOCUMENTS LISTED ON THIS INDEX SHALL NOT BE CONSIDERED PREPARED BY ANYONE OTHER THAN THE NAMED PROFESSIONAL UNLESS INDICATED OTHERWISE.

LOCATION MAP



351-377 FOREST SUMMIT COURT  
MANCHESTER, MO 63021



GENERAL DOCUMENT NOTES

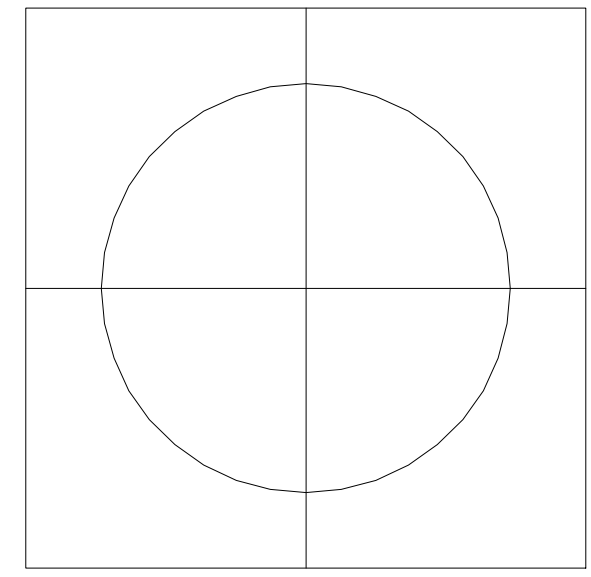
- THE CONTRACT DOCUMENTS CONTEMPLATE A FINISHED PIECE OF WORK OF SUCH CHARACTER AND QUALITY AS IS DESCRIBED IN AND IS REASONABLY INFERRABLE FROM THEM AND THE CONTRACTOR AND SUB-CONTRACTORS RECOGNIZING THE IMPOSSIBILITY OF PRODUCING DRAWINGS AND SPECIFICATIONS WITH PERFECT ACCURACY, AGREES THAT HIS SUBMITTED BID OR COST FOR THE WORK HEREUNDER INCLUDES SUFFICIENT MONEY ALLOWANCE TO MAKE HIS WORK COMPLETE AND OPERABLE, AND IN COMPLIANCE WITH GOOD PRACTICE AND THE ORDINANCES, CODES AND REGULATIONS OF ALL BODIES OR PERSONS HAVING GOVERNMENTAL AUTHORITY OVER IT.
- DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS, INCLUDING THOSE IN ELECTRONIC FORM, PREPARED BY THE ARCHITECT AND THE ARCHITECT'S CONSULTANTS ARE INSTRUMENTS OF SERVICE FOR USE SOLELY WITH RESPECT TO THIS PROJECT ONLY. THE ARCHITECT AND THE ARCHITECT'S CONSULTANTS SHALL BE DEEMED THE AUTHORS AND OWNERS OF THEIR RESPECTIVE INSTRUMENTS OF SERVICE AND SHALL RETAIN ALL COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING COPYRIGHTS.
- THE OWNER AND ARCHITECT RELY COMPLETELY ON THE GENERAL CONTRACTOR AND ITS SUB-CONTRACTORS TO MAINTAIN A SAFE ENVIRONMENT FOR THE CONSTRUCTION OF THE WORK. IN ADDITION, THE GENERAL CONTRACTOR IS SOLELY RESPONSIBLE FOR THE SEQUENCING, MEANS AND METHODS TO CONSTRUCT THE WORK WITH THE HIGHEST QUALITY BY THE INTENT OF THE DOCUMENTS.
- TO THE FULLEST EXTENT PERMITTED BY LAW, THE OWNER SHALL INDEMNIFY AND HOLD HARMLESS THE CONTRACTOR, SUB-CONTRACTORS, ARCHITECT, ARCHITECT'S CONSULTANTS AND AGENTS AND EMPLOYEES OF ANY OF THEM FROM AND AGAINST CLAIMS, DAMAGES, LOSSES AND EXPENSES, INCLUDING BUT NOT LIMITED TO ATTORNEY'S FEES, ARISING OUT OF OR RESULTING FROM PERFORMANCE OF THE WORK IN THE AFFECTED AREA IF IN FACT THE MATERIAL OR SUBSTANCE PRESENTS THE RISK OF BODILY INJURY OR DEATH, AND HAS NOT BEEN RENDERED HARMLESS, PROVIDED THAT SUCH CLAIM, DAMAGE, LOSS OR EXPENSE IS ATTRIBUTABLE TO BODILY INJURY, SICKNESS, DISEASE OR DEATH, OR TO INJURY OR TO DESTRUCTION OF TANGIBLE PROPERTY (OTHER THAN THE WORK ITSELF) AND PROVIDED THAT SUCH DAMAGE, LOSS OR EXPENSE IS NOT DUE TO THE SOLE NEGLIGENCE OF A PARTY SEEKING INDEMNITY. THE OWNER SHALL NOT BE RESPONSIBLE FOR MATERIALS AND SUBSTANCES BROUGHT TO THE SITE BY THE CONTRACTOR UNLESS SUCH MATERIALS OR SUBSTANCES WERE REQUIRED BY THE CONTRACT DOCUMENTS. IF, WITHOUT NEGLIGENCE ON THE PART OF THE CONTRACTOR, THE CONTRACTOR IS HELD LIABLE FOR THE COST OF REMEDIATION OF A HAZARDOUS MATERIAL OR SUBSTANCE SOLELY BY REASON OF PERFORMING WORK AS REQUIRED BY THE CONTRACT DOCUMENTS, THE OWNER SHALL INDEMNIFY THE CONTRACTOR FOR ALL COST AND EXPENSE THEREBY INCURRED.
- THE CONTRACT DOCUMENTS CONSIST OF THE AGREEMENT BETWEEN OWNER AND CONTRACTOR (HEREINAFTER THE AGREEMENT), CONDITIONS OF THE CONTRACT (GENERAL, SUPPLEMENTARY, AND OTHER CONDITIONS), DRAWINGS, SPECIFICATIONS, APPENDIX ISSUED PRIOR TO THE EXECUTION OF THE CONTRACT, OTHER DOCUMENTS LISTED IN THE AGREEMENT AND MODIFICATIONS ISSUED AFTER EXECUTION OF THE CONTRACT. A MODIFICATION IS (1) A WRITTEN AMENDMENT TO THE CONTRACT SIGNED BY BOTH PARTIES, (2) A CHANGE ORDER, (3) A CONSTRUCTION CHANGE DIRECTIVE OR (4) A WRITTEN ORDER FOR A MINOR CHANGE IN THE WORK ISSUED BY THE ARCHITECT. UNLESS SPECIFICALLY ENUMERATED IN THE AGREEMENT, THE CONTRACT DOCUMENTS DO NOT INCLUDE OTHER DOCUMENTS SUCH AS BIDDING REQUIREMENTS (ADVERTISEMENT OR INVITATION TO BID), INSTRUCTIONS TO BIDDERS, SAMPLE FORMS, THE CONTRACTOR'S BID OR PORTIONS OF APPENDIX RELATING TO BIDDING REQUIREMENTS.
- THE CONTRACT DOCUMENTS FORM THE CONTRACT FOR CONSTRUCTION. THE CONTRACT REPRESENTS THE ENTIRE AND INTEGRATED AGREEMENT BETWEEN THE PARTIES HERETO AND SUPERSEDES PRIOR NEGOTIATIONS, REPRESENTATIONS OR AGREEMENTS, EITHER WRITTEN OR ORAL. THE CONTRACT MAY BE AMENDED OR MODIFIED ONLY BY A MODIFICATION. THE CONTRACT DOCUMENTS SHALL NOT BE CONSTRUED TO CREATE A CONTRACTUAL RELATIONSHIP OF ANY KIND (1) BETWEEN THE ARCHITECT AND CONTRACTOR, (2) BETWEEN THE OWNER AND A SUB-CONTRACTOR OR SUB-SUB-CONTRACTOR, (3) BETWEEN THE OWNER AND THE ARCHITECT OR (4) BETWEEN ANY PERSONS OR ENTITIES OTHER THAN THE OWNER AND CONTRACTOR. THE ARCHITECT SHALL, HOWEVER, BE ENTITLED TO PERFORMANCE AND ENFORCEMENT OF OBLIGATIONS UNDER THIS CONTRACT INTENDED TO FACILITATE PERFORMANCE OF THE ARCHITECT'S DUTIES.
- THE DRAWINGS ARE THE GRAPHIC AND PICTORIAL PORTIONS OF THE CONTRACT DOCUMENTS SHOWING THE DESIGN, LOCATION AND DIMENSIONS OF THE WORK, GENERALLY INCLUDING PLANS, ELEVATIONS, SECTIONS, DETAILS, SCHEDULES AND DIAGRAMS.
- THE SPECIFICATIONS ARE THAT PORTION OF THE CONTRACT DOCUMENTS CONSISTING OF THE WRITTEN REQUIREMENTS FOR MATERIALS, EQUIPMENT, SYSTEMS, STANDARDS AND WORKMANSHIP FOR THE WORK, AND PERFORMANCE OF RELATED SERVICES.
- THE PROJECT MANUAL IS A VOLUME ASSEMBLED FOR THE WORK WHICH MAY INCLUDE THE BIDDING REQUIREMENTS, SAMPLE FORMS, CONDITIONS OF THE CONTRACT AND SPECIFICATIONS.
- THE INTENT OF THE CONTRACT DOCUMENTS IS TO INCLUDE ALL ITEMS NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK BY THE CONTRACTOR. THE CONTRACT DOCUMENTS ARE COMPLEMENTARY, AND WHAT IS REQUIRED BY ONE SHALL BE AS BINDING AS IF REQUIRED BY ALL. PERFORMANCE OF THE WORK BY THE CONTRACTOR SHALL BE REQUIRED ONLY TO THE EXTENT CONSISTENT WITH THE CONTRACT DOCUMENTS AND REASONABLY INFERRABLE FROM THEM AS BEING NECESSARY TO PRODUCE THE INDICATED RESULTS. ORGANIZATION OF THE SPECIFICATIONS INTO DIVISIONS, SECTIONS AND ARTICLES, AND ARRANGEMENT OF DRAWINGS SHALL NOT CONTROL THE CONTRACTOR IN DIVIDING THE WORK AMONG SUB-CONTRACTORS OR IN ESTABLISHING THE EXTENT OF WORK TO BE PERFORMED BY ANY TRADE, UNLESS OTHERWISE STATED IN THE CONTRACT DOCUMENTS, WORDS WHICH HAVE WELL-KNOWN TECHNICAL OR CONSTRUCTION INDUSTRY MEANINGS ARE USED IN THE CONTRACT DOCUMENTS IN ACCORDANCE WITH SUCH RECOGNIZED MEANINGS.
- EXECUTION OF THE CONTRACT BY THE CONTRACTOR IS A REPRESENTATION THAT THE CONTRACTOR HAS BECOME GENERALLY FAMILIAR WITH LOCAL CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED AND CORRELATED PERSONAL OBSERVATIONS WITH REQUIREMENTS OF THE
- ALL MATERIALS ON THIS PROJECT MUST BE INSTALLED BY LICENSED, EXPERIENCED AND/ OR APPROVED INSTALLERS OF THAT PRODUCT MATERIAL AND A MINIMUM 5 YEARS EXPERIENCE IN GOOD STANDING BY THE MANUFACTURER OF THAT PRODUCT/ MATERIAL (NO EXCEPTIONS). ALL INSTALLERS MUST BE FULLY AWARE OF THE MANUFACTURERS' INTENDED DESIGN LIMITATIONS/ PURPOSE AND USE OF THE MATERIAL BEING INSTALLED AND THE LATEST PUBLISHED INSTALLATION INSTRUCTIONS, SUBSTRATE REQUIREMENTS OR USE OF THIS MATERIAL IN CONJUNCTION WITH OTHER ADJACENT MATERIALS AND SUBSTRATES. NO PRODUCT IS TO BE ORDERED OR INSTALLED THAT DOES NOT MEET OR EXCEED THE LATEST PUBLISHED CONDITIONS FOR HANDLING & INSTALLATION BY THE MANUFACTURER. ANY DISCREPANCIES BETWEEN THE DOCUMENTS AND THE EXISTING CONDITIONS, SUBSTRATES, OR FINAL INSTALLATION ARE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO COMMENCING WORK.
- THE INTENT OF THE SPECIFICATIONS, DRAWINGS AND DETAILS, WHETHER SHOWN OR NOT ARE TO DETAIL/ SPECIFY, DELIVER, INSTALL AND COMPLETE CONSTRUCTION WITH ALL PRODUCTS/ MATERIALS PER MANUFACTURERS' SPECIFIC REQUIREMENTS ALLOWING THE PRODUCTS/ MATERIALS TO MEET THE MANUFACTURERS' INTENT FOR LONG-TERM PERFORMANCE. THIS INCLUDES PRODUCTS/MATERIALS BY THEMSELVES OR AS AN ASSEMBLY IN CONJUNCTION WITH OTHER MATERIALS COMPATIBLE WITH THE MANUFACTURER.
- THE GENERAL CONTRACTOR, ALL SUPPLIERS, SUB-CONTRACTORS AND SUB-SUB-CONTRACTORS ARE ENCOURAGED TO BRING DISCREPANCIES, CONFLICTS OR CONCERNS TO THE ATTENTION OF THE ARCHITECT IN AN EFFORT TO WORK IN COLLABORATION. THE GOAL IS TO WORK TOGETHER COLLECTIVELY TO AVOID CONFLICTS AND ADDITIONAL COST, BUT MOST IMPORTANTLY TO ALLOW THE INSTALLATION OF ALL MATERIALS/ PRODUCTS TO BE INSTALLED PROPERLY PER THE MANUFACTURERS' EXPRESSED INTENT TO ENSURE LONG-TERM PERFORMANCE.

MATERIALS

- EARTH
- ROCK/POROUS FILL
- CONCRETE
- BRICK
- CMU
- CUT STONE/PRECAST
- FINISH LUMBER
- DISCONT. LUMBER
- CONTINUOUS LUMBER
- STEEL
- BLANKET INSULATION
- RIGID INSULATION
- SHEATHING
- MARBLE/GRANITE

SYMBOLS

- RATED PARTITIONS**
- 1 HR. RATED WALL
  - 2 HR. RATED WALL
- DOOR IDENTIFICATION**
- DOOR NUMBER
- WINDOW TYPE**
- WINDOW IDENTIFICATION ALWAYS NUMERICAL
  - STOREFRONT SYSTEM IDENTIFICATION
- REVISION**
- CLOUD AROUND REVISION
  - REVISION NUMBER
- ROOM/SPACE IDENTIFICATION**
- OFFICE ROOM NUMBER
  - 106 ROOM NUMBER
- PARTITION TYPES KEY**
- PARTITION TYPE
- SECTION KEYS**
- BUILDING SECTION WALL SECTION
- DETAIL KEY**
- ELEVATION IDENTIFICATION
  - SHEET WHERE ELEVATION IS DRAWN
- EXTERIOR ELEVATIONS**
- ELEVATION IDENTIFICATION SHEET WHERE ELEVATION IS DRAWN
- INTERIOR ELEVATIONS**
- SHARED AREA INDICATES ELEV. DRAWN
  - DETAIL NUMBER / SHEET WHERE ELEVATION IS DRAWN
- KEYED NOTES**
- DEMOLITION
  - PLANS
- MATCH LINE**
- DIRECTION OF SECTION CUT
  - DETAIL AND SHEET NUMBER
  - SPOT ELEVATION MARKER

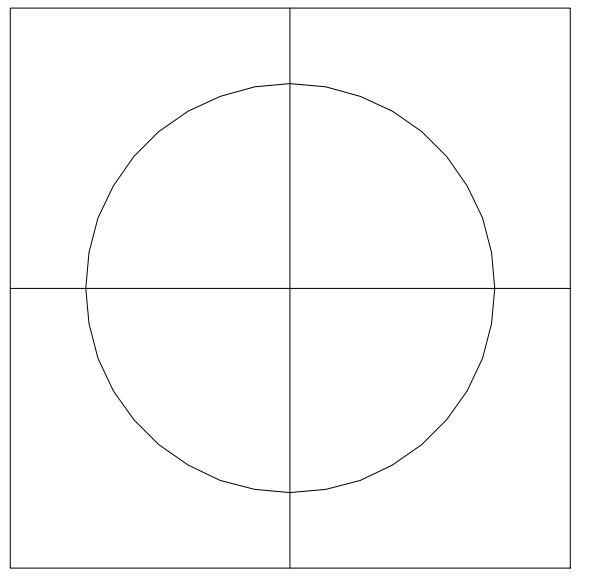


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CIVIL

BID / PERMIT / CONST.	05/23/2019	●
ADDENDUM 1	06/12/2019	●



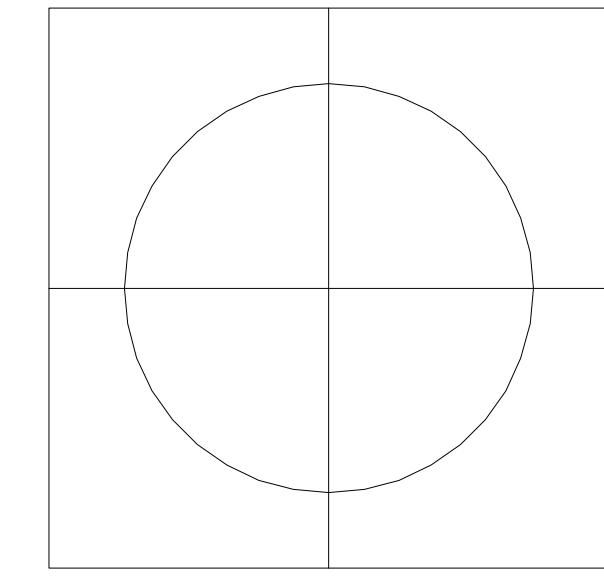
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ARCHITECTURAL

BID / PERMIT / CONST.	05/23/2019	●
ADDENDUM 1	06/12/2019	●

- COVER SHEET
- COPE & GENERAL NOTES
- GRID & GENERAL NOTES
- GENERAL NOTES
- SITEWORK
- AT-00 SITE PLAN
- AT-01 SITE DETAILS
- FLOOR PLANS
- A2-00 FLOOR PLAN-AREA A
- A2-01 FLOOR PLAN-AREA B
- A2-10 ROOF PLAN & ROOF DETAILS
- EXTERIOR ELEVATIONS & BUILDING SECTIONS
- A3-00 EXTERIOR ELEVATIONS
- A3-01 EXTERIOR ELEVATIONS
- A3-02 PARTIAL EXTERIOR ELEVATIONS
- A3-10 BUILDING SECTIONS
- A3-11 BUILDING SECTIONS
- ENLARGED PLANS & INTERIOR ELEVATIONS
- A4-00 ENLARGED PLANS
- A4-00 INTERIOR ELEVATIONS & CASEWORK
- REFLECTED CEILING PLAN
- A6-00 REFLECTED CEILING PLAN-AREA A
- A6-01 REFLECTED CEILING PLAN-AREA B
- WALL SECTIONS & DETAILS
- A8-01 WALL DETAILS
- A8-02 WALL DETAILS
- A8-03 COLUMN DETAILS
- A8-04 COLUMN DETAILS
- A8-05 WALL DETAILS
- A8-06 WINDOW DETAILS
- SCHEDULES
- A9-00 DOOR SCHEDULE
- A9-05 FINISH SCHEDULE
- A9-10 PARTITION TYPES



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STRUCTURAL

BID / PERMIT / CONST.	05/23/2019	●
ADDENDUM 1	06/12/2019	●

- S1.0 GENERAL NOTES & STANDARD DETAILS
- S2.0 FOUNDATION & SLAB ON GRADE PLAN
- S3.1 ROOF FRAMING PLAN
- S3.0 FOUNDATIONS SECTIONS & DETAILS
- S3.1 FRAMING SECTIONS & DETAILS

The Professional Architect seal affixed to this sheet indicates that the named Architect has prepared or directed the preparation of the material shown only on this sheet. Other drawings and documents not including this seal shall not be considered prepared by or the responsibility of the undersigned.

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MANCHESTER, MISSOURI 63021

NO.	DESCRIPTION	DATE
1	BID/PERMIT/CONST. ADDENDUM 1	06/12/19

PROJECT NUMBER:  
18036.00  
**CODE & GENERAL NOTES**

**A0.01**





Section 1: Project Information

Energy Code: 2009 IECC  
 Project Title: New Memory care residence  
 Project Type: New Construction

Construction Site: 351.377 Forest Summit Court, Manchester, MO 63021  
 Owner/Agent: Sarah Holahan, Family Partners, Inc., 12880 Manchester rd., St. Louis, MO 63126 (314) 686-4450  
 Designer/Contractor: Brian Zwick, Zwick + Gandt Architecture, Inc., 314-962-9292, bzwick@gzarch-stl.com  
 Building Location: Manchester, Missouri  
 Climate Zone: 4a  
 Vertical Cladding / Wall Area Pct.: 17%

Building Use: Activity Type(s)  
 1-Multifamily - Residential  
 Floor Area: 7148

Section 2: Envelope Assemblies and Requirements Checklist

Envelope PASSES: Design 18% better than code.

Component Name/Description	Gross Area or Perimeter	Cavity R-Value	Cont. R-Value	Proposed U-Factor	Budget U-Factor <sup>(a)</sup>
Orientation: NORTH					
Exterior Wall 3: Wood-Framed, 16" o.c., [Bldg. Use 1 - Multifamily]	961	19.0	3.6	0.052	0.064
Window BEDRM: VinylFiberglass Frame, Perf. Specs.: Product ID SIL-N-3, SHGC 0.30, PF 0.02, [Bldg. Use 1 - Multifamily] (b)	80	---	---	0.290	0.400
Window DINIG BAY: VinylFiberglass Frame, Perf. Specs.: Product ID SIL-N-3, SHGC 0.30, PF 0.69, [Bldg. Use 1 - Multifamily] (b)	17	---	---	0.290	0.400
Window DINIG BAY: VinylFiberglass Frame, Perf. Specs.: Product ID SIL-N-3, SHGC 0.30, PF 0.69, [Bldg. Use 1 - Multifamily] (b)	19	---	---	0.290	0.400
Window CRTYD TOILET: VinylFiberglass Frame, Perf. Specs.: Product ID SIL-N-3, SHGC 0.30, PF 0.02, [Bldg. Use 1 - Multifamily] (b)	14	---	---	0.290	0.400
Window SUNRM SIDE: VinylFiberglass Frame, Perf. Specs.: Product ID SIL-N-3, SHGC 0.30, PF 0.61, [Bldg. Use 1 - Multifamily] (b)	8	---	---	0.290	0.400
Door res wing ext: Insulated Metal, Swinging, [Bldg. Use 1 - Multifamily]	20	---	---	0.100	0.700
Door Strm door: Glass (< 50% glazing): Nonmetal Frame, Non-Entrance Door, Perf. Specs.: Product ID n/a, SHGC 0.12, PF 0.39, [Bldg. Use 1 - Multifamily] (b)	20	---	---	0.230	0.400
Orientation: EAST					
Exterior Wall 1: Wood-Framed, 16" o.c., [Bldg. Use 1 - Multifamily]	1268	19.0	3.6	0.052	0.064
Window BAY WDWS: VinylFiberglass Frame-Operable, Perf. Specs.: Product ID sil-n-3, SHGC 0.30, PF 0.18, [Bldg. Use 1 - Multifamily] (b)	45	---	---	0.290	0.400
Window RES cor: VinylFiberglass Frame-Operable, Perf. Specs.: Product ID sil-n-3, SHGC 0.30, PF 0.21, [Bldg. Use 1 - Multifamily] (b)	50	---	---	0.290	0.400

Window DINIG BAY @ PORCH: VinylFiberglass Frame-Operable, Perf. Specs.: Product ID SIL-N-3, SHGC 0.30, PF 0.67, [Bldg. Use 1 - Multifamily] (b)	15	---	---	0.290	0.400
Window - lvg bay wndw @porch: VinylFiberglass Frame-Operable, Perf. Specs.: Product ID SIL-N-3, SHGC 0.30, PF 0.84, [Bldg. Use 1 - Multifamily] (b)	52	---	---	0.290	0.400
Door 1: Glass (< 50% glazing): Nonmetal Frame, Entrance Door, Perf. Specs.: Product ID n/a, SHGC 0.12, PF 0.52, [Bldg. Use 1 - Multifamily] (b)	56	---	---	0.230	0.400
Orientation: SOUTH					
Exterior Wall 4: Wood-Framed, 16" o.c., [Bldg. Use 1 - Multifamily]	961	19.0	3.6	0.052	0.064
Window bdrm: VinylFiberglass Frame, Perf. Specs.: Product ID sil-n-3, SHGC 0.30, PF 0.02, [Bldg. Use 1 - Multifamily] (b)	80	---	---	0.290	0.400
Window Living bay: VinylFiberglass Frame, Perf. Specs.: Product ID sil-n-3, SHGC 0.30, PF 0.69, [Bldg. Use 1 - Multifamily] (b)	17	---	---	0.290	0.400
Window Dng bay: VinylFiberglass Frame, Perf. Specs.: Product ID sil-n-3, SHGC 0.30, PF 0.19, [Bldg. Use 1 - Multifamily] (b)	19	---	---	0.290	0.400
Window Crpt toilet: VinylFiberglass Frame, Perf. Specs.: Product ID sil-n-3, SHGC 0.30, PF 0.02, [Bldg. Use 1 - Multifamily] (b)	14	---	---	0.290	0.400
Window Sunrm side: VinylFiberglass Frame, Perf. Specs.: Product ID sil-n-3, SHGC 0.30, PF 0.61, [Bldg. Use 1 - Multifamily] (b)	8	---	---	0.290	0.400
Door Res w/ ext: Insulated Metal, Swinging, [Bldg. Use 1 - Multifamily]	20	---	---	0.100	0.700
Door 5: Glass (< 50% glazing): Nonmetal Frame, Non-Entrance Door, Perf. Specs.: Product ID n/a, SHGC 0.12, PF 0.39, [Bldg. Use 1 - Multifamily] (b)	20	---	---	0.230	0.400
Orientation: WEST					
Exterior Wall 2: Wood-Framed, 16" o.c., [Bldg. Use 1 - Multifamily]	1268	19.0	3.6	0.052	0.064
windows resident corridor: VinylFiberglass Frame, Perf. Specs.: Product ID SIL-N-3, SHGC 0.30, PF 0.02, [Bldg. Use 1 - Multifamily] (b)	50	---	---	0.290	0.400
Window lounge/activity: VinylFiberglass Frame, Perf. Specs.: Product ID SIL-N-3, SHGC 0.30, PF 0.26, [Bldg. Use 1 - Multifamily] (b)	115	---	---	0.290	0.400
Window summ center: VinylFiberglass Frame, Perf. Specs.: Product ID SIL-N-3, SHGC 0.30, PF 0.66, [Bldg. Use 1 - Multifamily] (b)	63	---	---	0.290	0.400
Window surrm side: VinylFiberglass Frame, Perf. Specs.: Product ID SIL-N-3, SHGC 0.30, PF 0.50, [Bldg. Use 1 - Multifamily] (b)	15	---	---	0.290	0.400
Orientation: UNSPECIFIED ORIENTATION					
Roof 1: Attic Roof with Wood Joists, [Bldg. Use 1 - Multifamily]	7148	30.0	0.0	0.034	0.027
Floor 1: Slab-On-Grade/Unheated, Vertical 2 ft., [Bldg. Use 1 - Multifamily]	468	---	---	5.0	---

- (a) Budget U-factors are used for software baseline calculations ONLY, and are not code requirements.
- (b) Finestration product performance must be certified in accordance with NFRC and requires supporting documentation.
- Air Leakage, Component Certification, and Vapor Retarder Requirements:**
  - 1. All joints and penetrations are caulked, gasketed or covered with a moisture vapor-permeable wrapping material installed in accordance with the manufacturer's installation instructions.
  - 2. Windows, doors, and skylights certified as meeting leakage requirements.
  - 3. Component R-values & U-factors labeled as certified.
  - 4. No roof insulation is installed on a suspended ceiling with removable ceiling panels.
  - 5. Other components have supporting documentation for proposed U-Factors.
  - 6. Insulation installed according to manufacturer's instructions, in substantial contact with the surface being insulated, and in a manner that achieves the rated R-value without compressing the insulation.
  - 7. Stair, elevator shaft vents, and other outdoor air intake and exhaust openings in the building envelope are equipped with motorized dampers.
  - 8. Cargo doors and loading dock doors are weather sealed.
  - 9. Recessed lighting fixtures installed in the building envelope are Type IC rated as meeting ASTM E2633, are sealed with gasket or caulk.
  - 10. Building entrance doors have a vestibule equipped with self-closing devices.
    - Exceptions:
      - Building entrances with revolving doors.
      - Doors not intended to be used as a building entrance.
      - Doors that open directly from a space less than 3000 sq. ft. in area.

LOCATION OF DEVICES

LAYOUT: CONTRACTOR SHALL TAKE SPECIAL CARE IN THE LAYOUT OF HIS WORK & IN VERIFICATION OF ANY CONTRACTORS' DIMENSIONS. THE COORDINATION & ALIGNMENT OF THIS WORK WITH ITSELF & ADJACENT WORK IS OF PRIMARY IMPORTANCE & SHOULD TAKE PRECEDENCE OVER WRITTEN DIMENSIONS. ESPECIALLY APPROXIMATE DIMENSIONS. THE INSTALLING CONTRACTOR SHALL LAUNCH HIS WORK & VERIFY TO INSURE PROPER ALIGNMENT & FIT. HE WILL REPORT ANY DISCREPANCIES TO THE PROJECT SUPERINTENDENT AND ARCHITECT.

LOCATION OF THERMOSTATS, ELECTRICAL, LIGHTING, LIFE SAFETY DEVICES, ETC.:

- DEVICES INSTALLED BY SEPARATE TRADES (SUCH AS LIGHT SWITCHES, THERMOSTATS, ETC.) INSTALLED IN THE SAME LOCATION, SHALL BE MOUNTED IN A CONFIGURATION ACCEPTABLE TO THE ARCHITECT.
  - DEVICES SHALL BE UNIFORMLY MOUNTED SO THEY WILL BE SYMMETRICAL WHEN SHOWN ON THE MECHANICAL & ELECTRICAL DRAWINGS & NOT ON THE ARCHITECTURAL DRAWINGS. VERTICALLY ALIGN DEVICES MOUNTED AT DIFFERENT HEIGHTS UNLESS SEPARATED HORIZONTALLY BY 24".
  - DEVICES INSTALLED IN MASONRY OR INSTALLED IN / MOUNTED TO SURFACES TO RECEIVE WOOD PANELS, WALL COVERING, OR SIMILAR MATERIALS SHALL BE INSPECTED BY THE ARCHITECT / ENGINEER PRIOR TO ROUGHING-IN.
- WHEN IN DOUBT, CHECK WITH THE ARCHITECT / ENGINEER PRIOR TO ROUGH-IN. ALL COSTS TO CORRECT DEVIATIONS FROM THESE PRINCIPLES WILL BE THE RESPONSIBILITY OF THE INSTALLING CONTRACTOR.

NOTE: ALL DEVICES MOUNTED 72" TO 80" VERTICALLY MAY NOT PROTECT MORE THAN 4" FROM THE WALL.

TYPE OF USE		MINIMUM MANEUVERING CLEARANCES	
APPROACH DIRECTION	DOOR SIDE	PERPENDICULAR PARALLEL TO DOORWAY	BEYOND DOORWAY (BEYOND LATCH UNLESS NOTED)
FROM FRONT	PULL	60 INCHES	18 INCHES
FROM FRONT	PUSH	48 INCHES	0 INCHES**
FROM HINGE SIDE	PULL	60 INCHES	36 INCHES
FROM HINGE SIDE	PUSH	54 INCHES	42 INCHES
FROM HINGE SIDE	PUSH	42 INCHES**	22 INCHES***
FROM LATCH SIDE	PULL	48 INCHES**	24 INCHES
FROM LATCH SIDE	PUSH	42 INCHES**	24 INCHES

\* ADD 4 INCHES IF CLOSER AND LATCH PROVIDED  
 \*\* ADD 6 INCHES IF CLOSER PROVIDED  
 \*\*\* ADD 12 INCHES BEYOND LATCH IF CLOSER AND LATCH PROVIDED BEYOND HINGE SIDE

CODE REVIEW

**GOVERNING CODES:**

PROPOSED BUILDING / RENOVATIONS / WORK SHOWN ON THE DOCUMENTS THAT FOLLOW TO BE IN COMPLIANCE WITH THE CITY OF MANCHESTER. THE FOLLOWING BUILDING CODES ARE ENFORCED BY AMENDMENTS:

BUILDING CODE: 2009 INTERNATIONAL BUILDING CODE  
 ENERGY CODE: 2009 IRC/IMC  
 ELECTRICAL CODE: 2008 NATIONAL ELECTRICAL CODE  
 PLUMBING CODE: 2009 UNIFORM MECHANICAL CODE  
 MECHANICAL CODE: 2009 INTERNATIONAL MECHANICAL CODE  
 FUEL GAS CODE: 2009 IMC CH 1108.21  
 FIRE CODE: 2018 IFC PER WEST COUNTY EMS & FIRE PROTECTION

**CHAPTER 3 - USE AND OCCUPANCY:**

NON-SEPARATED MIXED USE  
 PRIMARY USE IS FOR "R-4", CONDITION 1 - RESIDENTIAL  
 ACCESSORY OCCUPANCY FOR "A-3", ASSEMBLY

**SECTION 310.6 - RESIDENTIAL GROUP R-4**  
 ". GROUP R-4 OCCUPANCIES SHALL MEET THE REQUIREMENTS FOR CONSTRUCTION AS DEFINED FOR GROUP R-3, EXCEPT AS OTHERWISE PROVIDED FOR IN THIS CODE."

**SECTION 1015.1, 1014.3 - NUMBER OF EXITS**  
 FOR GROUP R-4 WITH >10 OCC., TWO EXITS REQUIRED  
 - COMMON PATH OF TRAVEL < 75 FT

**TABLE 1019.1 (IBC 2012) - CORRIDOR FIRE RATING**  
 FOR GROUP R CORRIDORS WHICH SERVE AN OCCUPANT LOAD OF GREATER THAN 10 REQUIRE A FIRE RESISTANCE RATING OF 1/2 HOUR OR GREATER.

**SECTION 1018.4 - DEAD ENDS**  
 - DEAD END CORRIDOR LENGTH < 30 FT MAXIMUM

**508.2.1 DIMENSIONS**  
 FIRE APPARATUS ACCESS ROADS SHALL HAVE AN UNOBSTRUCTED WIDTH OF NOT LESS THAN 20 FEET (6096 MM), ... AND AN UNOBSTRUCTED VERTICAL CLEARANCE OF NOT LESS THAN 15 FEET 6 INCHES (4715 MM).

**INSULATION SCHEDULE**

EXTERIOR WALLS (WOOD FRAMED) R-15 + R-4 C.I.  
 ROOF / CEILING R-42  
 SLAB EDGE R10 for 2'-0" MIN. VERT. - ENTIRE PER.

**CHAPTER 4 - DETAILED REQUIREMENTS ON USE AND OCCUPANCY:**

**SECTION 420.2 - SEPARATION WALLS**  
 ". WALLS SEPARATING SLEEPING UNITS IN THE SAME BUILDING AND WALLS SEPARATING... SLEEPING UNITS FROM OTHER OCCUPANCIES... SHALL BE CONSTRUCTED AS FIRE PARTITIONS IN ACCORDANCE WITH SECTION 708.7"

**SECTION 420.4 - AUTOMATIC SPRINKLER SYSTEM**  
 GROUP R OCCUPANCIES SHALL BE EQUIPPED... PER SECTION 903.2.8

**CHAPTER 5 - GENERAL BUILDING HEIGHTS AND AREAS**

**SECTION 503.1 - GENERAL**

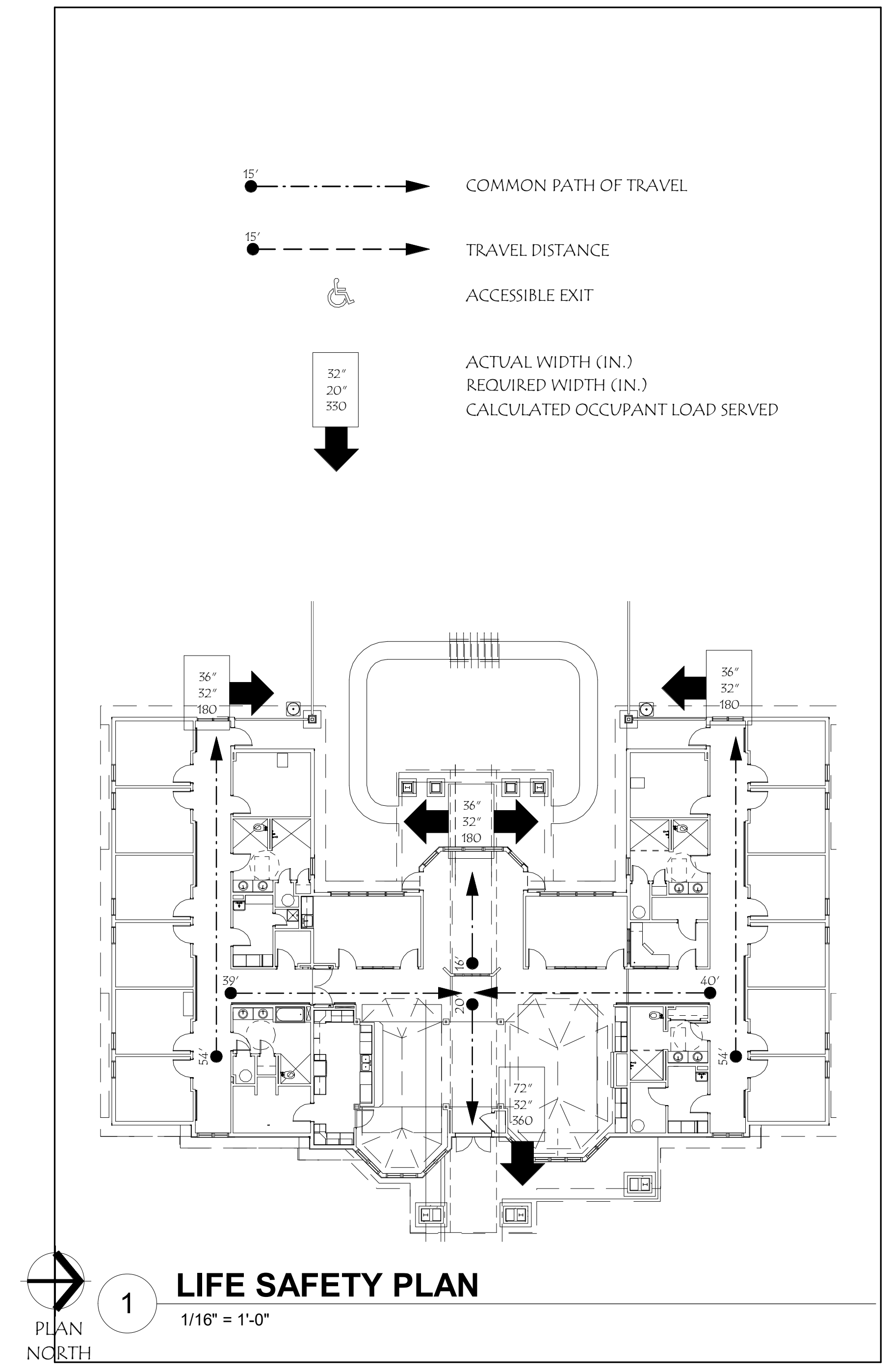
**TABLE 503 (2012 IBC) - ALLOWABLE AREA**  
 FOR CONSTRUCTION TYPE VB & GROUP R-4  
 ALLOWABLE AREA = 7,000 SF  
 AREA PROVIDED = 7,148 SF

**CHAPTER 6 - TYPES OF CONSTRUCTION:**

**TABLE 601 - FIRE-RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS**

**HOURLY FIRE RATING FOR TYPE VB CONSTRUCTION & FIRE SEPARATION DISTANCE OF 15 FT**

STRUCTURAL FRAME	0
BEARING WALLS	0
EXTERIOR	0
INTERIOR	0
NONBEARING WALLS	0
EXTERIOR	0
INTERIOR	0
ROOF CONSTRUCTION	0



**CHAPTER 7 - FIRE AND SMOKE PROTECTION FEATURES:**

**SECTION 708.5 - FIRE-RESISTANCE RATING REQ... (FOR FIRE PARTITIONS)**  
 ...NOT LESS THAN 1 HR  
 EXCEPTIONS:  
 1) CORRIDOR WALLS ARE PERMITTED TO HAVE 1/2 HR RATING PER TABLE 1020.1

**SECTION 708.4 - CONTINUITY**  
 FIRE PARTITIONS SHALL EXTEND FROM THE TOP OF FOUNDATION TO THE UNDERSIDE OF ROOF SHEATHING OR FIRE-RESISTANCE-RATED ROOF/CEILING ASSEMBLY ABOVE, AND SHALL BE SECURELY ATTACHED THERETO.  
 OR, FOR COMBUSTIBLE CONSTRUCTION... THE SPACE BETWEEN THE CEILING AND SHEATHING... SHALL BE FIREBLOCKED OR DRAFTSTOPPED.

**SECTION 718.4 - DRAFTSTOPPING IN ATTICS**  
 ". DRAFTSTOPPING SHALL BE INSTALLED TO SUBDIVIDE ATTIC SPACES AND CONCEALED ROOF SPACES IN THE LOCATIONS PRESCRIBED IN SECTIONS 718.4.2 AND 718.4.3

**SECTION 708.4.3 - OTHER GROUPS**  
 "DRAFTSTOPPING SHALL BE INSTALLED IN ATTICS AND CONCEALED ROOF SPACES, SUCH THAT ANY HORIZONTAL AREA DOES NOT EXCEED 3,000 SQUARE FEET..."

**CHAPTER 8 - INTERIOR FINISHES:**

**SECTION 803.1.1 - WALL AND CEILING FINISHES MATERIALS**  
 CLASS A: FLAME SPREAD 0-25; SMOKE DEVELOPED 0-450  
 CLASS B: FLAME SPREAD 26-75; SMOKE DEVELOPED 0-450  
 CLASS C: FLAME SPREAD 76-200; SMOKE DEVELOPED 0-450

**TABLE 803.9 - FINISH REQUIREMENTS BY OCCUPANCY**  
 GROUP R-4 & "NOT SPRINKLERED" (NFPA 13P DOES NOT QUALIFY):  
 VERTICAL EXITS AND EXIT PASSAGEWAYS: MINIMUM CLASS A  
 EXIT ACCESS CORRIDORS AND OTHER EXIT WAYS: MINIMUM CLASS B  
 ROOMS AND ENCLOSED SPACES: MINIMUM CLASS B

**CHAPTER 9 - FIRE PROTECTION SYSTEMS:**

**SECTION 903.2.8.1 - GROUP R-3 OR R-4 CONGREGATE RESIDENCES**  
 AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH 903.3.1.3 SHALL BE PERMITTED IN GROUP R-3 OR R-4 CONGREGATE RESIDENCES WITH 16 OR FEWER RESIDENTS.

**SPRINKLER SYSTEMS**  
 PER STATE OF MISSOURI DEPARTMENT OF HEALTH AND SENIOR SERVICES, CHAPTER 86 - RESIDENTIAL CARE FACILITIES & ASSISTED-LIVING FACILITIES, SPRINKLER SYSTEM TO BE NFPA 15.

**SECTION 907.2.11.2 - SMOKE ALARMS**  
 A SINGLE- OR MULTIPLE-STATION SMOKE ALARM SHALL BE INSTALLED AND MAINTAINED IN GROUP R-4 REGARDLESS OF OCCUPANT LOAD AT LOCATIONS PRESCRIBED IN THIS SECTION.

**SECTION 907.2.11.3 - INTERCONNECTION**  
 "WHERE MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING UNIT OR SLEEPING UNIT IN GROUP R... THE SMOKE ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT..."

**SECTION 907.2.11.4 - POWER SOURCE**  
 "IN NEW CONSTRUCTION, REQUIRED SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING WHERE SUCH WIRING IS SERVED FROM A COMMERCIAL SOURCE AND SHALL BE EQUIPPED WITH A BATTERY BACKUP..."

**CHAPTER 10 - MEANS OF EGRESS:**

**SECTION 1002 - DEFINITIONS**  
 - GROSS FLOOR AREA INCLUDES AREA INSIDE PERIMETER OF EXTERIOR WALLS.

**SECTION 1006 MEANS OF EGRESS ILLUMINATION**  
 - MEANS OF EGRESS, INCLUDING EXIT DISCHARGE SHALL BE ILLUMINATED AT ALL TIMES. MINIMUM 1 FOOT-CANDLE, 90 MINUTE EMERGENCY POWER TO BE PROVIDED.

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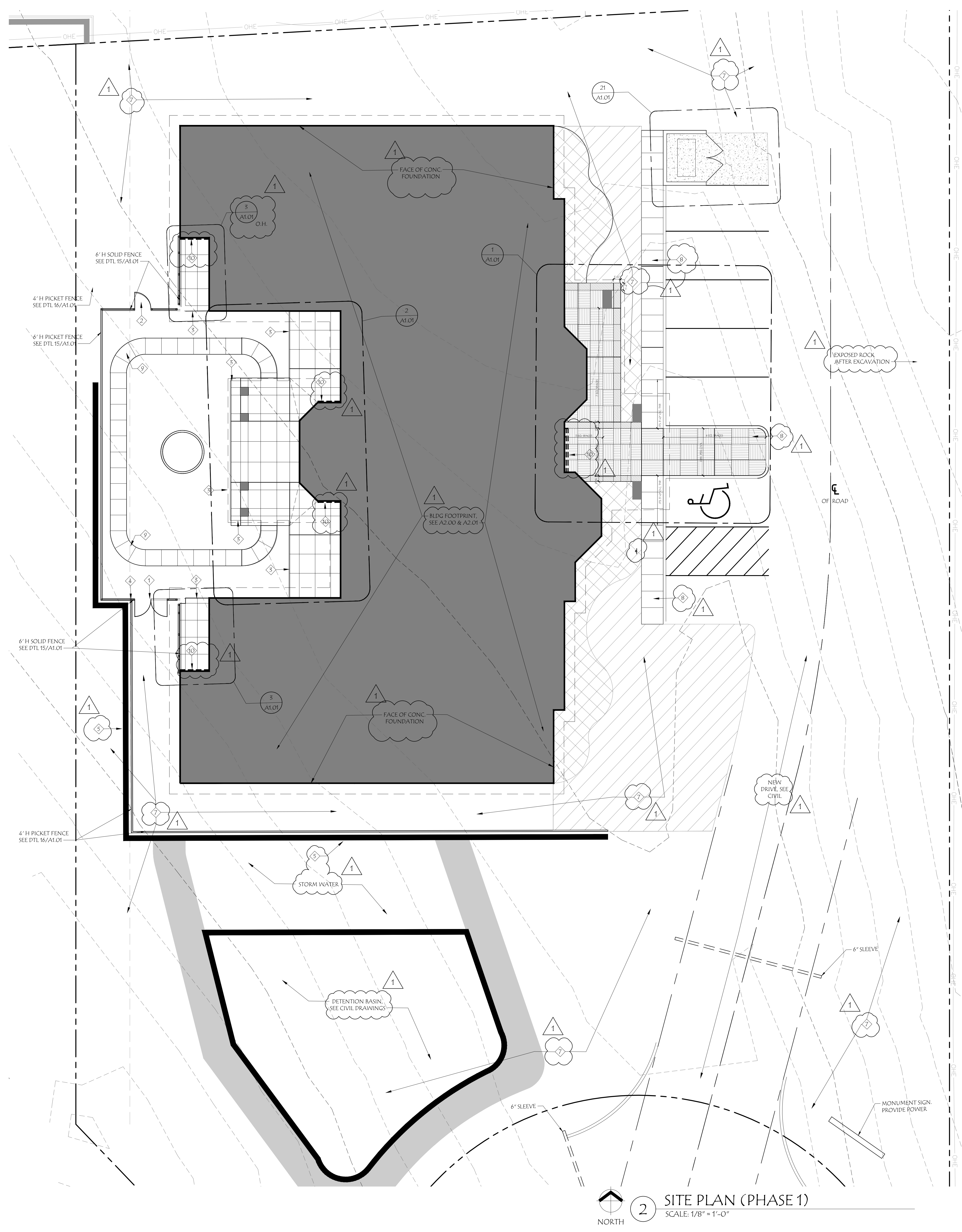
**Family Partners**  
**FAMILY PARTNERS MANCHESTER**  
 351-377 FOREST SUMMIT COURT  
 MANCHESTER, MISSOURI 63021

NO	DESCRIPTION	DATE	
		BID/PERMIT/CONST.	ISSUED/REV
1	ADDITIONAL	5/23/19	06/17/19

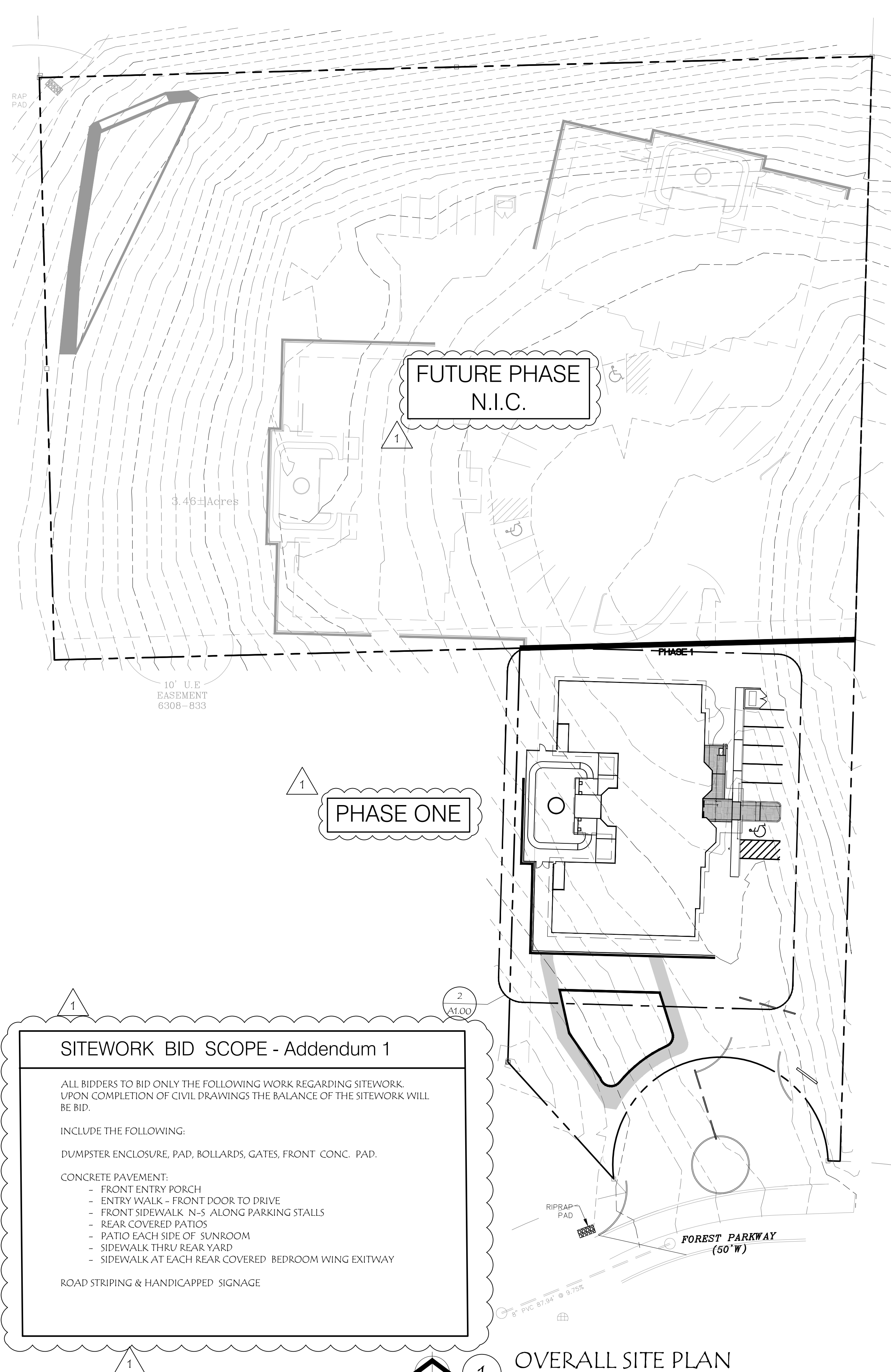
PROJECT NUMBER: 18036.00  
**CODE & GENERAL NOTES**

**A0.02**





2 SITE PLAN (PHASE 1)  
SCALE: 1/8" = 1'-0"



1 OVERALL SITE PLAN  
SCALE: 1/32" = 1'-0"

**SITWORK BID SCOPE - Addendum 1**

ALL BIDDERS TO BID ONLY THE FOLLOWING WORK REGARDING SITWORK. UPON COMPLETION OF CIVIL DRAWINGS THE BALANCE OF THE SITWORK WILL BE BID.

INCLUDE THE FOLLOWING:

DUMPSTER ENCLOSURE, PAD, BOLLARDS, GATES, FRONT CONC. PAD.

CONCRETE PAVEMENT:

- FRONT ENTRY PORCH
- ENTRY WALK - FRONT DOOR TO DRIVE
- FRONT SIDEWALK N-S ALONG PARKING STALLS
- REAR COVERED PATIOS
- PATIO EACH SIDE OF SUNROOM
- SIDEWALK THRU REAR YARD
- SIDEWALK AT EACH REAR COVERED BEDROOM WING EXITWAY

ROAD STRIPING & HANDICAPPED SIGNAGE

SITE LEGEND	
	SOP.
	LANDSCAPED MULCH AREA W/ STEEL EDGING. SEE LANDSCAPE DRAWINGS.
	ALL DISTURBED AREAS TO BE SEEDED.

KEYED SITE PLAN NOTES	
1.	PAIR 3" W/ 4" H GATES MATCHING ADJ FENCE STYLE - ONE LEAF INACTIVE WITH DROP BAR ON OUTSIDE OF FENCE. ACTIVE LEAF CONN TO KEYRAD TIED TO ALARM SYSTEM W/ MAGNET RELEASE.
2.	3" W/ 6" H GATES MATCHING ADJ FENCE STYLE - ACTIVE LEAF CONN TO KEYRAD TIED TO ALARM SYSTEM W/ MAGNET RELEASE.
3.	FINISH GRADE TO BE WITHIN 1/2" OF T.O. CONC. FOR ADA ACCESS AND SLOPE AWAY FOR PROPER DRAINAGE.
4.	SPRINKLER SNIFFER OR GORE TIED TO ALARM SYST W/ MAG RELEASE ELEC. GATE RETAINING WALL W/ FENCE. SEE 17/A1.01.
5.	EDGING PART OF LANDSCAPE WORK.
6.	LANDSCAPE WORK.
7.	LANDSCAPE WORK.
8.	NEW SIDEWALK - SEE CIVIL.
9.	3"-W CONC. WALK.
10.	BOWEL CONC. WALL W/ THICKENED SLAB INTO CONC. FOUNDATION WALL.

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BID / PERMIT / CONST.	05/23/19
ADDENDUM 1	06/12/19

PROJECT NUMBER:  
18036.00

SITE PLAN

**A1.00**



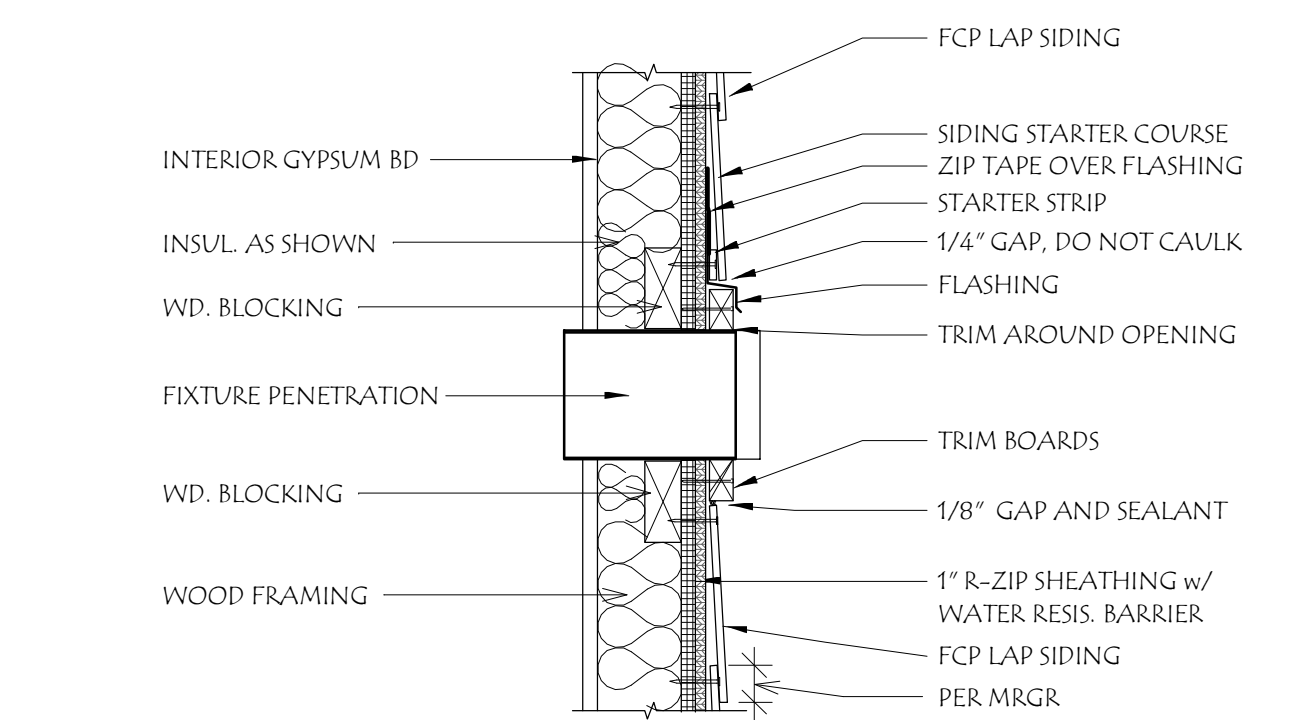
TYPE MARK	DESCRIPTION	MANUFACT.	MODEL
A1	REFRIGERATOR	WHIRLPOOL	WRS57K8BDM
A2	FREEZER	WHIRLPOOL	WFS25718BDM
B	SURFACE COOKTOP	GE	JFP93661JBB
C	30" DOUBLE WALL OVEN	KITCHENAID	KODES0055
D	DISHWASHER W/ HD GRINDER	MAYTAG	MDB9899SHZ
E	15" U/C ICE MAKER WITH/WITHOUT DRAIN PUMP	KITCHENAID	(WITH) KUJX5555 / (WITH-OUT) KUJX5555
F	UPRIGHT FREEZER	WHIRLPOOL	WZF54X18B1V
G	FRONT LOAD WASHER	WHIRLPOOL	WFW6620HW
H	FRONT LOAD GAS DRYER	WHIRLPOOL	WGD6201HW
J	30" WARMING DRAWER	KITCHENAID	KOAT10055
K	36" VENTLESS HOOD	WHIRLPOOL	LX15236RDS
L	UNDERCOUNTER REFRIGERATOR	GE	GCE06GSH58

TAG	DESCRIPTION	MANUFACTURER	MODEL
P-1	ADA TUB / SHOWER	INVSACARE	5752G
P-2	VANITY SINK	GERBER	LUNOVAL 12-780
P-3	UTILITY SINK	PRO FLO	PFLT2522D
P-4	MOP SINK	MSRID2424	
P-5	ADA TOILET	GERBER	MAXWELL ER60HEIGHT 21-918
P-6	ADA SHOWER HEAD & CONTROLS	DELTA	INNOVATIONS MONITOR 17
P-7	FLOOR DRAIN	KOHLER	K-9156
P-8	DOUBLE SINK	ELKAY	DXL4H1201ORDIF
P-9	SINGLE SINK	ELKAY	ECLTRU50179RTC
P-10	GARBAGE DISPOSAL	INSINKERATOR/EMERS ON	EVOLUTION PRO 880LT

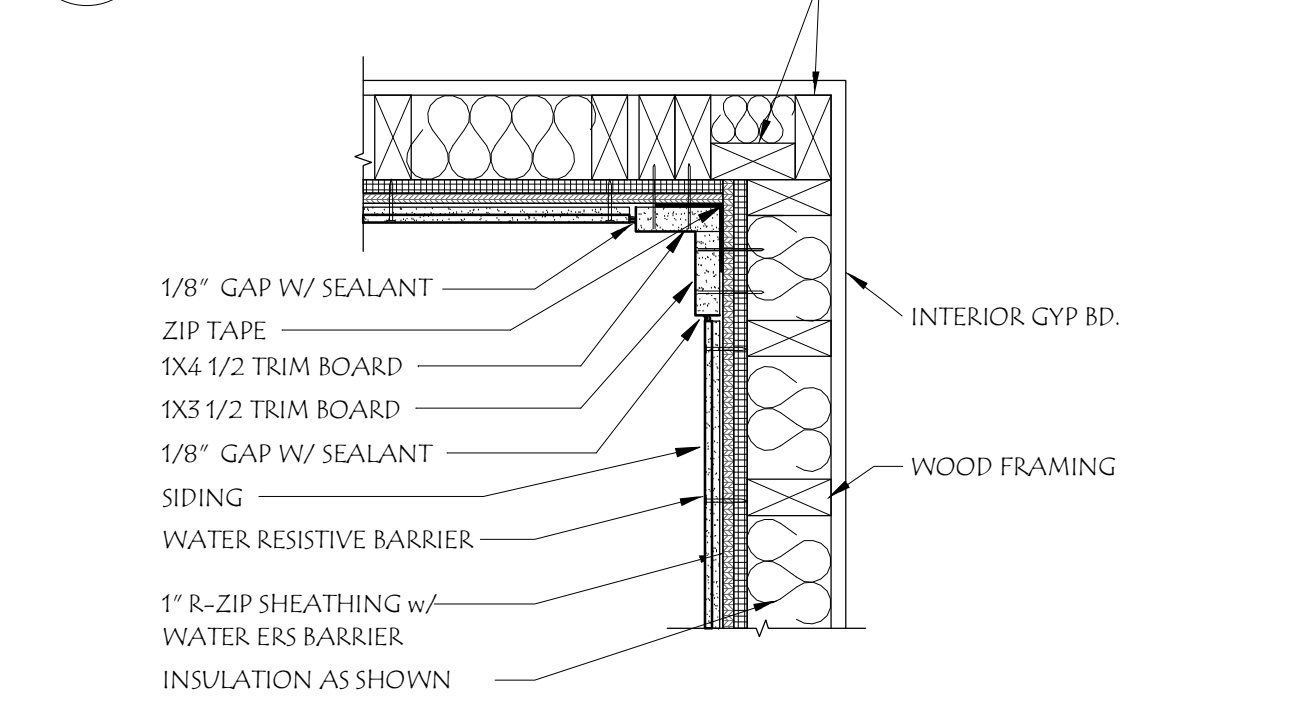
TYPE MARK	DESCRIPTION	MANUFACTURER	MODEL
1	18" GRAB BAR	ROBRICK	8-5806418
2	24" GRAB BAR	ROBRICK	8-5806424
3	36" GRAB BAR	ROBRICK	8-5806436
4	42" GRAB BAR	ROBRICK	8-5806442
5	48" GRAB BAR	ROBRICK	8-5806448
6	DISPOSAL, SANITARY NAPKIN, SS, SURFACE MOUNTED	ROBRICK	8-270
7	18" x 30" FRAMELESS MIRROR	ROBRICK	8-1556
8	DISPENSER, SOAP, DISPOSABLE	ROBRICK	8-2111
9	DISPENSER, TOILET TISSUE, SS, 2-ROLL, SURFACE MTD.	ROBRICK	8-6867
10	ADA SHOWER SEAT	ROBRICK	8-5181
11	MOP AND BROOM HOLDER, SURFACE MTD.	ROBRICK	8-225 x 24
12	ADJUSTABLE SHOWER CURTAIN ROD	TBD	TBD
13	CURTAIN	TBD	TBD

TAG	DESCRIPTION	MANUFACTURER	MODEL
1	CORNER GUARDS REFER TO MATERIALS FINISH LEGEND ON A3.01		
2	18" PP VINYL-COATED WIRE SHELVING, 5 ROWS VERT. ON KNAPE & VOET STANDARDS		
3	PROVIDE ROD & VINYL-COATED WIRE SHELF AT CLOSET		
4	3" VINYL HORIZ. BLINDS AT BEDROOM WINDOW. PROVIDE ALT. TO REMOVE PTD IX WOOD JAMB & HEAD RETURNS W/ TYP. PTD. DOOR CASING @ JAMB & HEAD. RETURNS TO BE PAINTED GYP. BD.		
5	DASHED LINE DENOTES CLEARANCE FOR PATIENT LIFT DEVICE		
6	CARPET INSET		
7	MTL. CLOTHES ROD & 18" P WOOD SHELVING. SEE ELEVATION 25/AS.00 FOR ADDITIONAL INFORMATION.		
8	CONT. CHAIR/HANDRAIL TRIM W/ WALL PROTECTION FROM BOTTOM OF CHAIR RAIL TO TOP OF FLOOR BASE. SEE 1/AS.00. REFER TO MATERIALS FINISH LEGEND FOR WALL PROTECTION.		
9	COORDINATE LOCATION OF FLOOR OUTLETS WITH OWNER'S FURNITURE LAYOUT		

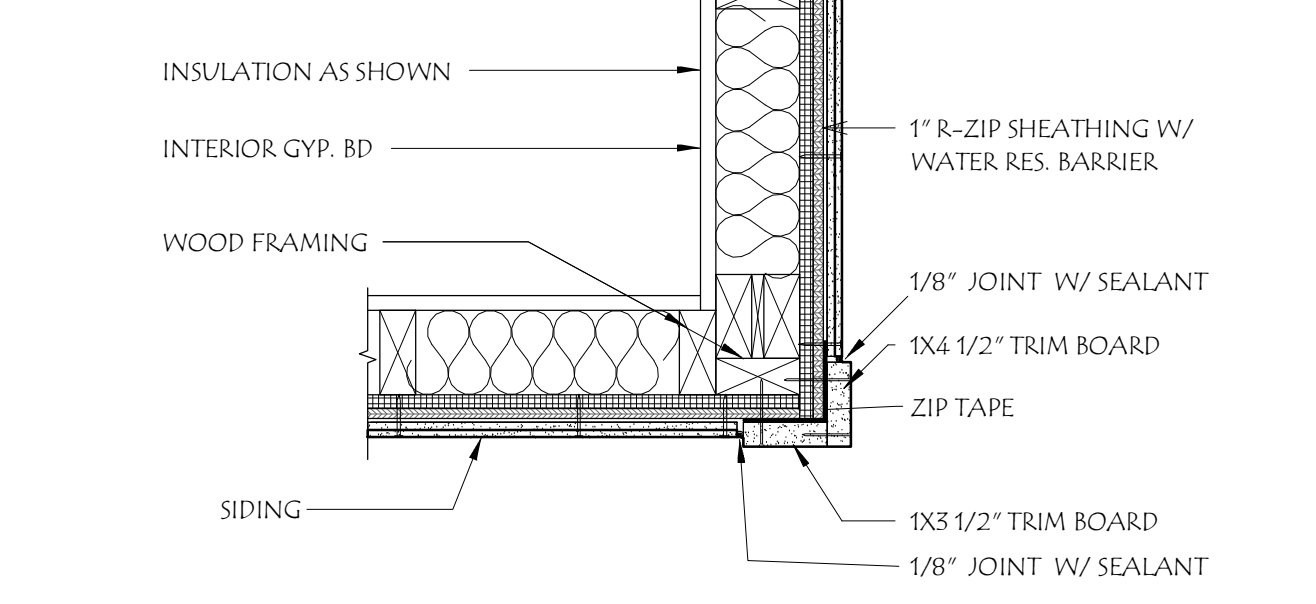
TAG	DESCRIPTION	MANUFACTURER	SIZE	HEIGHT	REMARKS
MED-1	PATIENT LIFT	TBD	42.5"	75"	PROVIDE OUTLET FOR POWER, OWNER TO PROVIDE
MED-2	STORAGE CART	TBD	37.5"	46"	OWNER TO PROVIDE



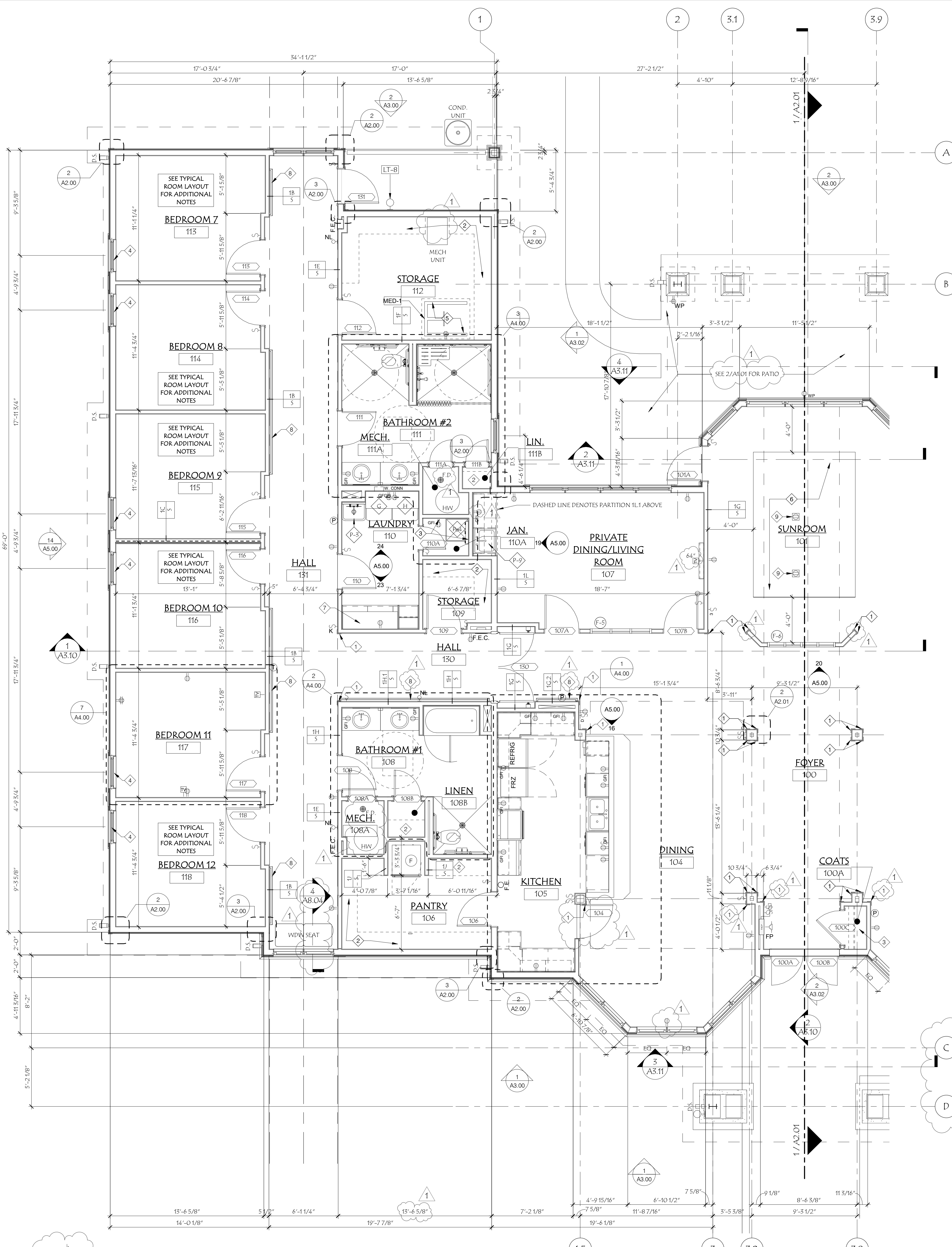
**4** **FIXTURE PENETRATION**  
1 1/2" = 1'-0"



**3** **TRIM INSIDE CORNER**  
1 1/2" = 1'-0"



**2** **TRIM OUTSIDE CORNER**  
1 1/2" = 1'-0"



**FLOOR PLAN-AREA A**  
1/4" = 1'-0"

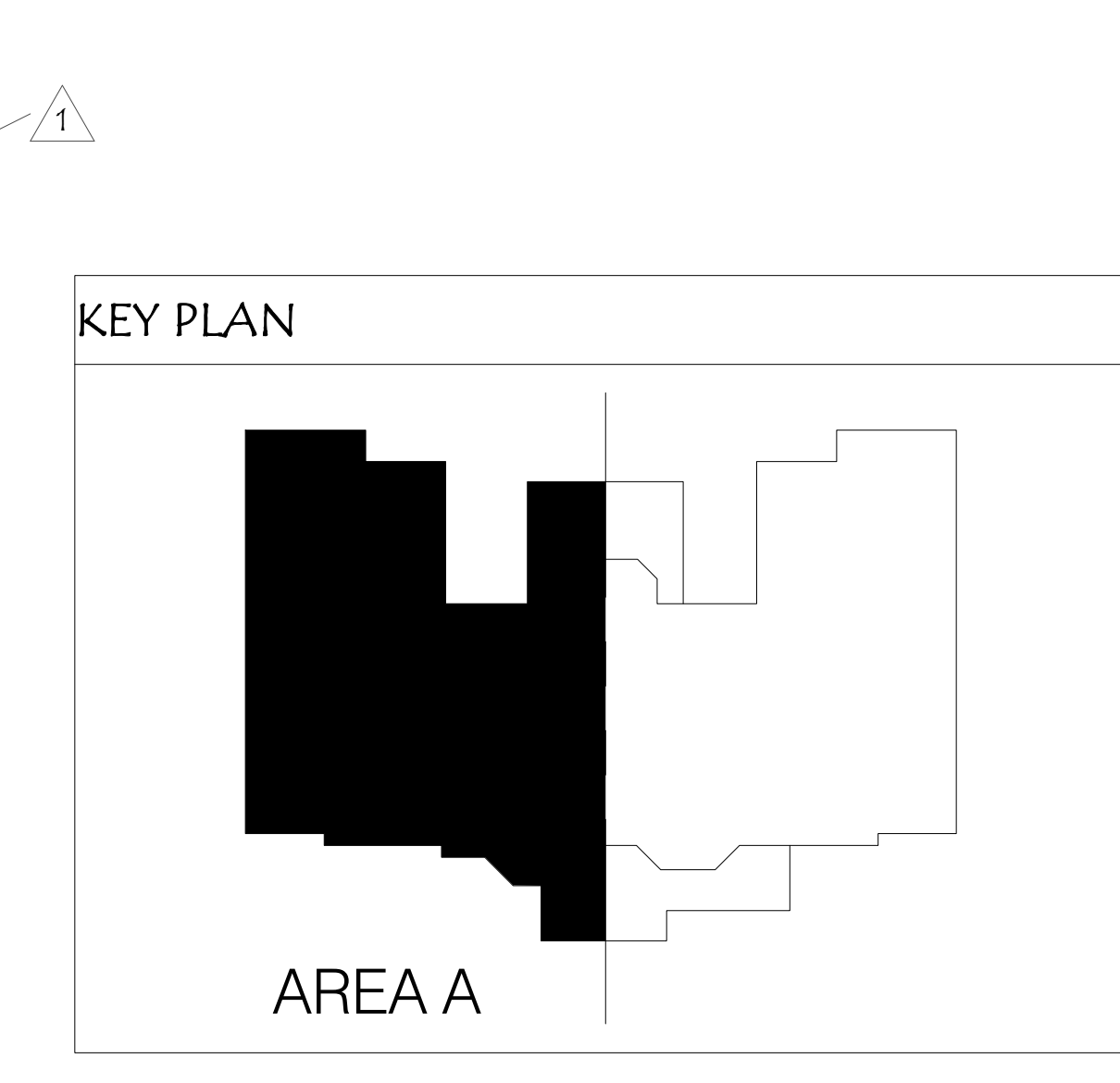
PLAN LEGEND	
	EXISTING PARTITION
	NEW PARTITION
	NEW DOOR
	EXISTING DOOR
<b>CORNER GUARD SYMBOLS</b> - INDICATES 4'-0" LONG CORNER GUARD INSTALLED ABOVE 12" HIGH WALL BASE	
<b>FIRE EXTINGUISHER SYMBOLS</b> - INDICATED ON THE PLAN ARE AS FOLLOWS:	
	RECESSED FIRE EXTINGUISHER CABINET
	SURFACE MOUNTED FIRE EXTINGUISHER CABINET
	WALL MOUNTED FIRE EXTINGUISHER ON BRACKET

ELEC. & FIRE EQPT. SYMBOL LEGEND	
	DUPLEX OUTLET (TYP. @ 4'-6" A.F.F.)
	ELEC. QUADRUPEX OUTLET
	CABLE TV
	SWITCH (TYP. @ 4'-6" A.F.F.)
	KEYED SWITCH
	WATER CONNECTION
	EMERGENCY PULL-STATION
	TELEPHONE
	WALL VENT
	NITE LIGHT
	THERMOSTAT (@ 4'-6" A.F.F.)
	POWER OUTLET-GFI
	220V OUTLET
	FIRE EXTINGUISHER
	FIRE PANEL
	DATA

NOTE: ALL SYMBOLS ARE SHOWN FOR CLARITY & COORDINATION - SEE MECHANICAL, PLUMBING & ELECTRICAL SHEETS FOR EXACT LOCATIONS OF M.E.P. EQUIP. & FIXTURES.

1' SHOWN NEXT TO A SYMBOL INDICATES THAT THE FIXTURE IS EXISTING TO REMAIN  
 2' SHOWN NEXT TO A SYMBOL INDICATES THAT THE FIXTURE IS NEW  
 3' SHOWN NEXT TO A SYMBOL INDICATES THAT THE FIXTURE IS RELOCATED.  
 4' SHOWN NEXT TO A SYMBOL INDICATES THAT THE FIXTURE'S HEIGHT A.F.F.  
 ALL HEIGHTS ARE CENTERLINE OF FIXTURE.

GENERAL FLOOR PLAN NOTES	
1	GENERAL CONTRACTOR AND / OR SUBCONTRACTORS ARE RESPONSIBLE FOR EXAMINING AND CONFIRMING ALL SUBSTRATE CONDITIONS WHERE NEW MATERIALS ARE APPLIED. SUBSTRATE SHALL BE SMOOTH, FREE OF DEFECTS AND SHALL CONFORM TO THE REQUIREMENTS OF THE FINISHED MATERIAL MANUFACTURERS' RECOMMENDATION.
2	DO NOT SCALE DRAWINGS.
3	ALL DIMS TO BE FIELD VERIFIED. ARCHITECT TO BE NOTIFIED OF ANY DISCREPANCIES.
4	THE WORD "ALIGN" AS USED IN THESE DOCS SHALL SUPERCEDE ANY DIMENSIONAL INFO INDICATED. IF DISCREPANCIES OCCUR, NOTIFY THE ARCHITECT IMMEDIATELY.
5	TYPICAL DIMENSIONS ARE TO THE FACE OF WOOD STUD, OR TO COLUMN CENTER LINE. REFER TO PLAN DETAILS FOR ADDITIONAL DIMENSIONS.
6	ALL ANGLES SHOWN ARE 45°, 90°, OR 135° UNLESS NOTED OTHERWISE.
7	DO NOT SCALE THE DRAWINGS. WORKING FROM ESTABLISHED LINES AND POINTS, ESTABLISH AND MAINTAIN DEPENDABLE MARKERS FOR LINES AND LEVELS OF WORK. CALCULATE DIMS AND MEASURE FOR LAYOUT OF WORK. RECORD DEVIATIONS (IF ANY) FROM DRAW INTO ON EXIST CONDITIONS AND REVIEW WITH ARCHITECT/ENGINEER AT TIME OF DISCOVERY.
8	FOLLOW WRITTEN DIMS AND LAYOUT POINTS ONLY. CONTRACTOR SHALL EXERCISE SPECIAL CARE IN THE VERIFICATION OF ALL CONDITIONS AND DIMS IN THE LAYOUT OF HIS WORK. THE ALIGNMENT IN COORDINATION OF HIS WORK ITSELF AND OTHER ADJACENT WORK IS OF PRIMARY IMPORTANCE AND SHALL TAKE PRECEDENCE OVER DIMENSIONS, ESPECIALLY THOSE INDICATED AS APPROXIMATE. CONTRACTOR SHALL LAY OUT AND VERIFY HIS WORK TO ENSURE ALIGNMENT AND FIT AND REPORT ANY DISCREPANCIES IMMEDIATELY TO HIS SUPERINTENDENT AND THE ARCHITECT BEFORE PROCEEDING OR PROCEED AT CONTRACTOR'S OWN RISK.
9	SLOPING CONCRETE SLAB TO FLOOR DRAINS IS OF PRIMARY IMPORTANCE AND SHOULD TAKE PRECEDENCE OVER DIMENSIONS, ESPECIALLY THOSE INDICATED AS APPROXIMATE. CONTRACTOR SHALL LAY OUT AND VERIFY HIS WORK TO ENSURE ALIGNMENT AND FIT, AND REPORT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE.
10	THE GENERAL CONTRACTOR IS TO PROVIDE PROTECTION TO ANY COMPLETED WORK, (I.E. CEILING GRID, ETC.) DURING CONSTRUCTION BY WHATEVER MEANS NECESSARY TO MAINTAIN ANY COMPLETED FINISHES IN NEW CONDITION TO THE POINT OF OWNER MOVE-IN AND ACCEPTANCE. ANY DAMAGED WORK, SCATCHED, MARKED OR IN ANY WAY IMPAIRED MATERIAL FOUND BY THE OWNER'S REPRESENTATIVE WILL BE REPLACED AT NO EXTRA COST TO THE OWNER.
11	ALL PARTITIONS INDICATED ON THE FLOOR PLAN TO BE TYPE XXX-SW UNLESS NOTED OTHERWISE. SEE PARTITION TYPES ON SHEET AXX FOR PARTITION MATERIALS, THICKNESS AND CONSTRUCTION REQUIREMENTS.
12	ALL INTERIOR FINISHES AND INSULATION SYSTEMS TO HAVE A FLAME SPREAD INDEX OF NOT MORE THAN 25 AND A SMOKE DEVELOPED INDEX OF NOT MORE THAN 450.
13	ALL CONTROL JOINTS IN GYP. RD. & PLASTER WALLS AND/ OR CLGS TO BE LOCATED AS REQ. BY U.S. GYPSUM U.N.O. FOR INT. AND EXT. LOCATIONS. FINAL JOINT LOCATIONS ARE TO BE REVIEWED WITH ARCHITECT PRIOR TO INSTALL.
14	PROVIDE BITUMINOUS COATING BETWEEN ALL DISSIMILAR METALS.
15	ALL WOOD IN DIRECT CONTACT WITH CONCRETE TO BE PRESERVATIVE ROT RESISTANT TREATED WOOD U.N.O.
16	ALL FOUNDATION WALLS IN EXCAVATED AREAS TO BEAR ON AND BE FORMED BY CLEANED, UNDISTURBED, VIRGIN SUB-SOIL.
17	SEE SOILS REPORT AND STRUCT. DWGS FOR SOIL PREP WORK AND ANTICIPATED CONDITIONS.
18	WHERE DOUBTING THE SIDEWALK SLAB INTO THE FIN. IS NOT SHOWN, INSTALL LEAN CONC. FILL TO A DEPTH BELOW FROST AT RUG ENTRANCES TO PREVENT FROST HEAVE OF SIDEWALK SLABS BELOW FLOOR OPENINGS.
19	IT WILL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO HAVE ALL ELECTRICAL REQUIREMENTS FOR FIRE PROTECTION, PLUMBING AND MECHANICAL WORK COORDINATED WITH THE ELECTRICAL CONTRACTOR FOR ALL AREAS OF THE WORK WHETHER SHOWN ON THE DRAWINGS OR NOT - AT NO EXTRA COST TO THE OWNER.
20	ALL PENETRATIONS THROUGH RATED PARTITIONS (MECH., ELEC., AND PLUMB.) TO BE FILLED WITH FIRE SAFING INSUL. AND FIRE STOP'G SEALANT PER U.L. DESIGNS INDICATED.
21	ALL PARTITIONS ARE 1/2" UNLESS OTHERWISE NOTED.



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NO.	DESCRIPTION	DATE
1	BID PERMIT/CONST.	5/23/19
1	ADDENDUM 1	06/17/19

PROJECT NUMBER:  
18036.00

**FLOOR PLAN-AREA A**  
**A2.00**



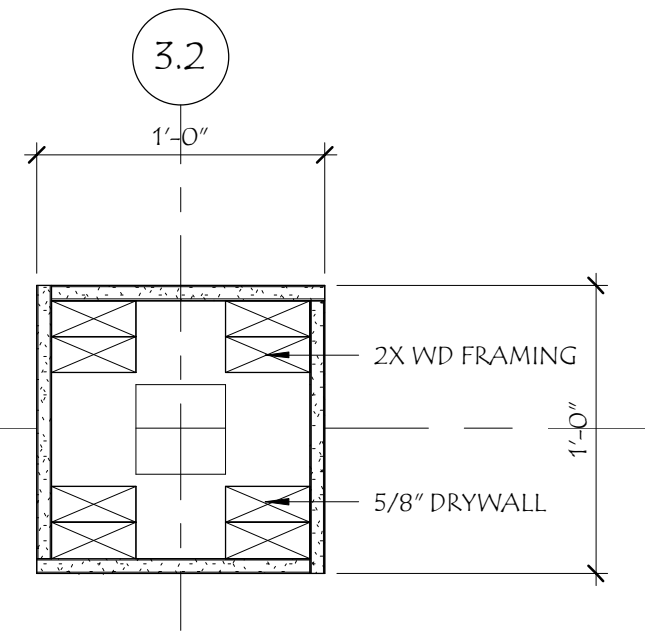
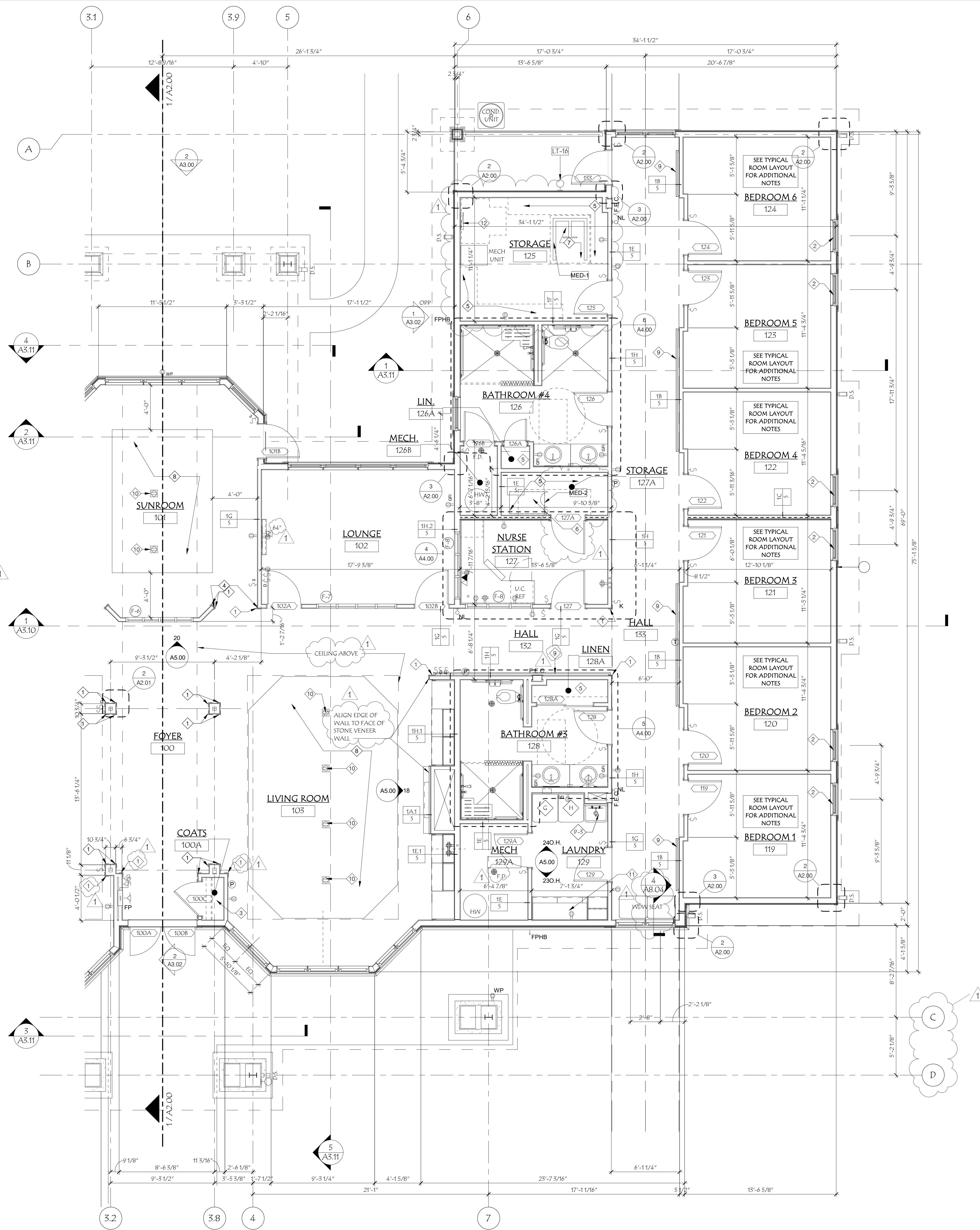
APPLIANCE SCHEDULE			
TYPE MARK	DESCRIPTION	MANUFACT.	MODEL
A1	REFRIGERATOR	WHIRLPOOL	WSR57R18DM
A2	FREEZER	WHIRLPOOL	WSZ57L18DM
B	SURFACE COOKTOP	GE	PHP9064D/BB
C	30" DOUBLE WALL OVEN	KITCHENAID	KODE900ESS
D	DISHWASHER W/ HP GRINDER	MAITAG	ADR8899S1Z
E	1/2" ICE MAKER WITH/WITHOUT DRAIN PUMP	KITCHENAID	(WITH) KUXS55SS / (WITHOUT) KUXS55SS
F	UPRIGHT FREEZER	WHIRLPOOL	WZF541818W
G	FRONT LOAD WASHER	WHIRLPOOL	WVFW620HW
H	FRONT LOAD GAS DRYER	WHIRLPOOL	WVGD620HW
J	50" WARMING DRAWER	KITCHENAID	KOVTR005S
K	36" VENTLESS HOOD	WHIRLPOOL	UXTS2368DS
L	UNDERCOUNTER REFRIGERATOR	GE	GCEDG25H8

PLUMBING FIXTURE SCHEDULE			
TAG	DESCRIPTION	MANUFACTURER	MODEL
P-1	ADA TUB / SHOWER	INVACARE	S752G
P-2	VANITY SINK	GERRER	LUXOVAL 12-780
P-3	UTILITY SINK	PRO FLO	PFLT2522D
P-4	MOP SINK	FLAT	MS81D2424
P-5	ADA TOILET	GERRER	MAXWELL ERA20HEIGHT 21-918
P-6	ADA SHOWER HEAD & CONTROLS	DELTA	INNOVATIONS MONITOR 17
P-7	FLOOR DRAIN	KOHLER	K-9156
P-8	DOUBLE SINK	ELKAY	DXLH1210KDF
P-9	SINGLE SINK	ELKAY	ECLRU2079RTC
P-10	GARBAGE DISPOSAL	INSINKERATOR/EMERS ON	EVOLUTION PRO 880LT

TOILET ACCESSORIES SCHEDULE			
TYPE MARK	DESCRIPTION	MANUFACTURER	MODEL
1	18" GRAB BAR	ROBRICK	B-5806x18
2	24" GRAB BAR	ROBRICK	B-5806x24
3	36" GRAB BAR	ROBRICK	B-5806x36
4	42" GRAB BAR	ROBRICK	B-5806x42
5	48" GRAB BAR	ROBRICK	B-5806x48
6	DISPOSAL SANITARY NAPKIN, SS, SURFACE MOUNTED	ROBRICK	B-270
7	18" x 30" FRAMELESS MIRROR	ROBRICK	B-1556
8	DISPENSER, SOAP, DISPOSABLE	ROBRICK	B-2111
9	DISPENSER, TOILET TISSUE, SS, 2-ROLL, SURFACE MTD.	ROBRICK	B-6867
10	ADA SHOWER SEAT	ROBRICK	B-5181
11	MOP AND BROOM HOLDER, SURFACE MTD.	ROBRICK	B-225 x 24
12	ADJUSTABLE SHOWER CURTAIN ROD	TRD	TRD
13	CURTAIN	TRD	TRD

KEYED FLOOR PLAN NOTES	
1	CORNER GUARD REFER TO MATERIALS FINISH LEGEND ON A5.05
2	3" VINYL HORIZ. BLINDS AT BEDROOM WINDOW FROM W/ FACE TO REMOVE PTD IX WOOD JAMB & HEAD RETURNS W/ TYP. PTD. DOOR CASING @ JAMB & HEAD. RETURNS TO BE PAINTED QYP. RD.
3	PROVIDE ROD & VINYL-COATED WIRE SHELF AT CLOSET
4	ALIGN EDGE OF ANGLED WOOD STUD TO PERPENDICULAR WOOD STUD
5	18" DP VINYL-COATED WIRE SHELVING, 5 ROWS VERT. DN. KNAPE & VOGT STANDARDS
6	DASHED LINE DENOTES CLEARANCE FOR 24" x 36" MEDICAL STORAGE CART
7	DASHED LINE DENOTES CLEARANCE FOR PATIENT LIFT DEVICE
8	CARPET TILES
9	CONY CHAIR/HANDRAIL TRIM W/ WALL PROTECTION FROM BOTTOM OF CHAIR RAIL TO TOP OF FLOOR BASE, SEE A5.05. REFER TO MATERIALS FINISH LEGEND FOR WALL PROTECTION
10	COORDINATE LOCATION OF FLOOR OUTLETS WITH OWNER'S FURNITURE LAYOUT
11	MTL. CLOTHES ROD & 18" DP WOOD SHELVING. SEE ELEVATION 25/A5.00 FOR ADDITIONAL INFORMATION
12	ELECTRICAL PANEL

MEDICAL EQUIPMENT SCHEDULE					
TAG	DESCRIPTION	MANUFACTURER	SIZE	HEIGHT	REMARKS
MED-1	PATIENT LIFT	TRD	42.5"	75"	PROVIDE OUTLET FOR POWER, OWNER TO PROVIDE
MED-2	STORAGE CART	TRD	57.5"	46"	OWNER TO PROVIDE



**2 Foyer Column Detail**  
1 1/2" = 1'-0"



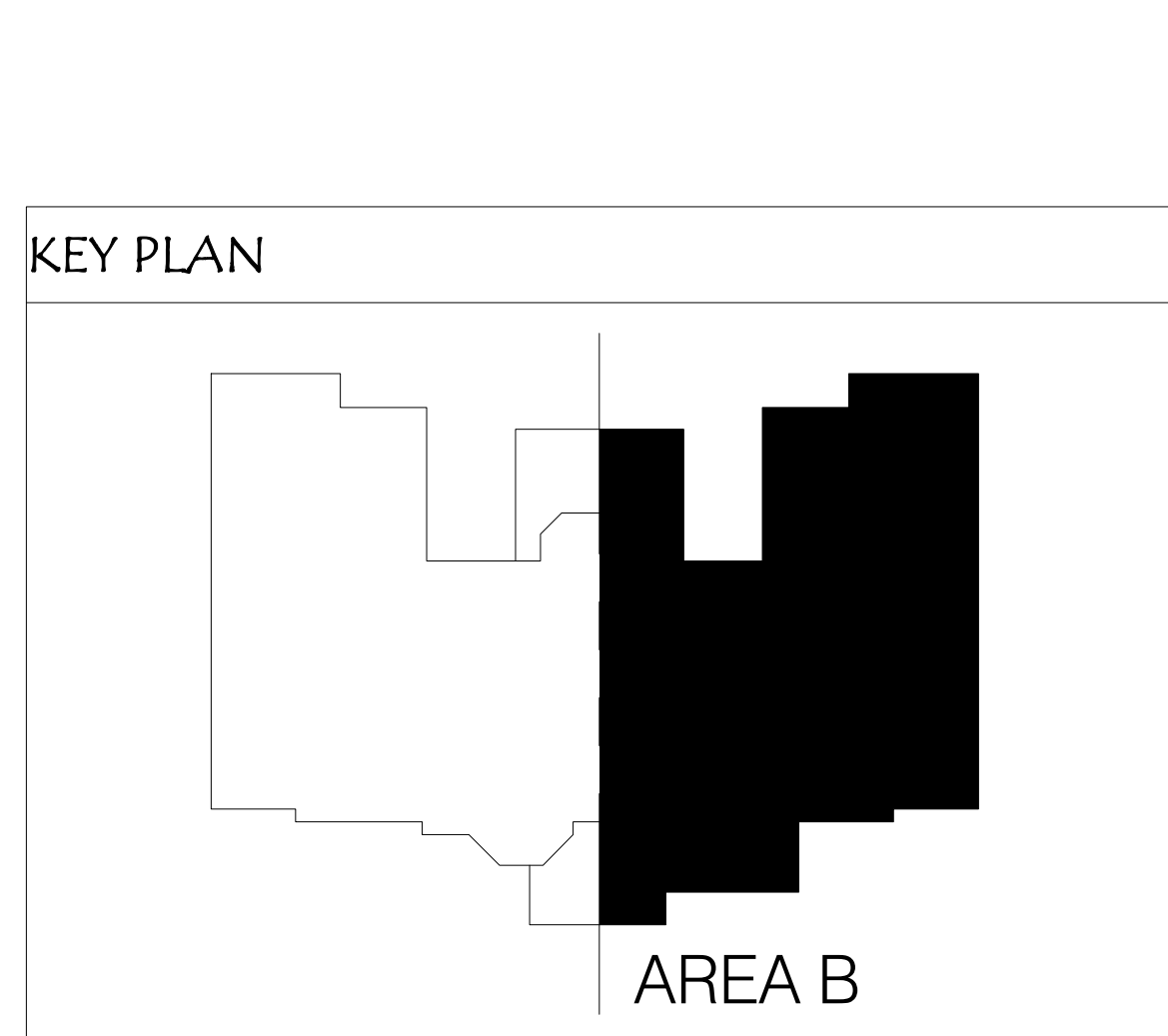
**1 FLOOR PLAN-AREA B**  
1/4" = 1'-0"

PLAN LEGEND	
	EXISTING PARTITION
	NEW PARTITION
	NEW DOOR
	EXISTING DOOR
	CORNER GUARD SYMBOLS - INDICATES 4'-0" LONG CORNER GUARD INSTALLED ABOVE 12" HIGH WALL BASE.
	FIRE EXTINGUISHER SYMBOLS - INDICATED ON THE PLAN ARE AS FOLLOWS: RECESSED FIRE EXTINGUISHER CABINET SURFACE MOUNTED FIRE EXTINGUISHER CABINET. WALL MOUNTED FIRE EXTINGUISHER ON BRACKET.

ELEC. & FIRE EQPT. SYMBOL LEGEND	
	DUPLEX OUTLET (TYP. @ 4'-6" A.F.F.)
	ELEC. QUADPLEX OUTLET
	CABLE TV
	SWITCH (TYP. @ 4'-6" A.F.F.)
	KEYED SWITCH
	WATER CONNECTION
	EMERGENCY PULL-STATION
	TELEPHONE
	WALL VENT
	NITE LIGHT
	THERMOSTAT (@ 4'-6" A.F.F.)
	POWER OUTLET-GFI
	220V OUTLET
	FIRE EXTINGUISHER
	FIRE PANEL
	DATA

NOTE: ALL SYMBOLS ARE SHOWN FOR CLARITY & COORDINATION - SEE MECHANICAL, PLUMBING & ELECTRICAL SHEETS FOR EXACT LOCATIONS OF M.E.P. EQUIP & FIXTURES.  
 'E' SHOWN NEXT TO A SYMBOL INDICATES THAT THE FIXTURE IS EXISTING TO REMAIN  
 'R' SHOWN NEXT TO A SYMBOL INDICATES THAT THE FIXTURE IS RELOCATED.  
 'H' SHOWN NEXT TO A SYMBOL INDICATES THAT THE FIXTURE IS HEIGHT A.F.F.  
 ALL HEIGHTS ARE CENTERLINE OF FIXTURE.

GENERAL FLOOR PLAN NOTES	
1	GENERAL CONTRACTOR AND / OR SUBCONTRACTORS ARE RESPONSIBLE FOR EXAMINING AND CONFIRMING ALL SUBSTRATE CONDITIONS WHERE NEW MATERIALS ARE APPLIED. SUBSTRATE SHALL BE SMOOTH, FREE OF DEFECTS AND SHALL CONFORM TO THE REQUIREMENTS OF THE FINISHED MATERIAL MANUFACTURERS' RECOMMENDATION.
2	DO NOT SCALE DRAWINGS.
3	ALL DIMS TO BE FIELD VERIFIED. ARCHITECT TO BE NOTIFIED OF ANY DISCREPANCIES.
4	THE WORD "ALIGN" AS USED IN THESE DOCS SHALL SUPERCEDE ANY DIMENSIONAL INFO INDICATED. IF DISCREPANCIES OCCUR, NOTIFY THE ARCHITECT IMMEDIATELY.
5	TYPICAL DIMENSIONS ARE TO THE FACE OF WOOD STUD, OR TO COLUMN CENTERLINE. REFER TO PLAN DETAILS FOR ADDITIONAL DIMENSIONS.
6	ALL ANGLES SHOWN ARE 45°, 90°, OR 135° UNLESS NOTED OTHERWISE.
7	DO NOT SCALE THE DRAWINGS. WORKING FROM ESTABLISHED LINES AND POINTS. ESTABLISH AND MAINTAIN PERMISSIBLE MARKERS FOR LINES AND LEVELS OF WORK. CALCULATE DIMS AND MEASURE FOR LAYOUT OF WORK. RECORD DEVIATIONS (IF ANY) FROM DWG INFO ON EXIST CONDITIONS AND REVIEW WITH ARCHITECT/ENGINEER AT TIME OF DISCOVERY.
8	FOLLOW WRITTEN DIMS AND LAYOUT POINTS ONLY. CONTRACTOR SHALL EXERCISE SPECIAL CARE IN THE VERIFICATION OF ALL CONDITIONS AND DIMS IN THE LAYOUT OF HIS WORK. THE ALIGNMENT IN COORDINATION OF HIS WORK ITSELF AND OTHER ADJACENT WORK IS OF PRIMARY IMPORTANCE AND SHALL TAKE PRECEDENCE OVER DIMENSIONS, ESPECIALLY THOSE INDICATED AS APPROXIMATE. CONTRACTOR SHALL LAY OUT AND VERIFY HIS WORK TO ENSURE ALIGNMENT AND FIT AND REPORT ANY DISCREPANCIES IMMEDIATELY TO HIS SUPERINTENDENT AND THE ARCHITECT BEFORE PROCEEDING OR PROCEED AT CONTRACTOR'S OWN RISK.
9	SLOPING CONCRETE SLAB TO FLOOR DRAINS IS OF PRIMARY IMPORTANCE AND SHOULD TAKE PRECEDENCE OVER DIMENSIONS, ESPECIALLY THOSE INDICATED AS APPROXIMATE. CONTRACTOR SHALL LAY OUT AND VERIFY HIS WORK TO ENSURE ALIGNMENT AND FIT, AND REPORT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE.
10	THE GENERAL CONTRACTOR IS TO PROVIDE PROTECTION TO ANY COMPLETED WORK, (I.E. CEILING GRID, ETC.) DURING CONSTRUCTION BY WHATEVER MEANS NECESSARY TO MAINTAIN ANY COMPLETED FINISHES IN NEW CONDITION TO THE POINT OF OWNER MOVE-IN AND ACCEPTANCE. ANY DAMAGED WORK, SCRATCHED, MARKED OR IN ANY WAY IMPAIRED MATERIAL FOUND BY THE OWNER'S REPRESENTATIVE WILL BE REPLACED AT NO EXTRA COST TO THE OWNER.
11	ALL PARTITIONS INDICATED ON THE FLOOR PLAN TO BE TYPE XXX-SW UNLESS NOTED OTHERWISE. SEE PARTITION TYPES ON SHEET XXX FOR PARTITION MATERIALS, THICKNESS AND CONSTRUCTION REQUIREMENTS.
12	ALL INTERIOR FINISHES AND INSULATION SYSTEMS TO HAVE A FLAME SPREAD INDEX OF NOT MORE THAN 25 AND A SMOKE DEVELOPED INDEX OF NOT MORE THAN 450.
13	ALL CONTROL JOINTS IN GYP. BR. & PLASTER WALLS, ANY/ OR CLGS TO BE LOCATED AS REQ. BY U.S. GYPSUM BOARD FOR INT. AND EXT. LOCATIONS. FINAL JOINT LOCATIONS ARE TO BE REVIEWED WITH ARCHITECT PRIOR TO INSTALL.
14	PROVIDE BITUMINOUS COATING BETWEEN ALL DISSIMILAR METALS.
15	ALL WOOD IN DIRECT CONTACT WITH CONCRETE TO BE PRESERVATIVE ROT RESISTANT TREATED WOOD U.S.A.
16	ALL FOUNDATION WALLS IN EXCAVATED AREAS TO BEAR ON AND BE FORMED BY CLEANED, UNDISTURBED, VIRGIN SLAB-SOIL.
17	SEE SOILS REPORT AND STRUCT. DWGS FOR SOIL PREP WORK AND ANTICIPATED CONDITIONS.
18	WHERE DOWELING THE SIDEWALK SLAB INTO THE FDN. IS NOT SHOWN: INSTALL LEAN CONE. FILL TO A DEPTH BELOW FROST AT BLDG ENTRANCES TO PREVENT FROST HEAVE OF SIDEWALK SLABS BELOW DOOR OPENINGS.
19	IT WILL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO HAVE ALL ELECTRICAL REQUIREMENTS FOR FIRE PROTECTION, PLUMBING AND MECHANICAL WORK COORDINATED WITH THE ELECTRICAL CONTRACTOR FOR ALL AREAS OF THE WORK. WHETHER SHOWN ON THE DRAWINGS OR NOT - AT NO EXTRA COST TO THE OWNER.
20	ALL PENETRATIONS THROUGH RATED PARTITIONS (MECH., ELEC., AND PLUMB.) TO BE FILLED WITH FIRE SAFING. INSL. AND FIRE STOP'S SEALANT PER UL DESIGNS INDICATED.
21	ALL PARTITIONS ARE 1/2" UNLESS OTHERWISE NOTED.



**AREA B**

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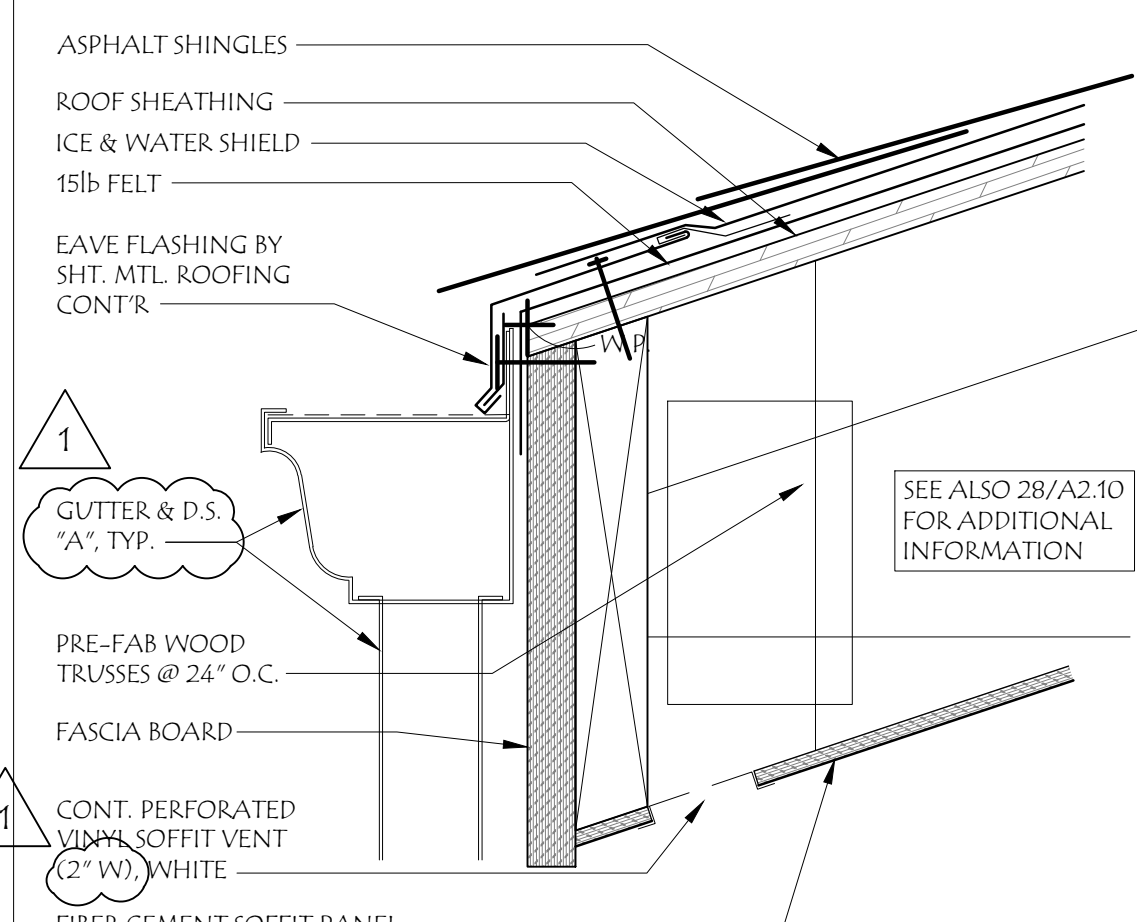
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		06/17/19

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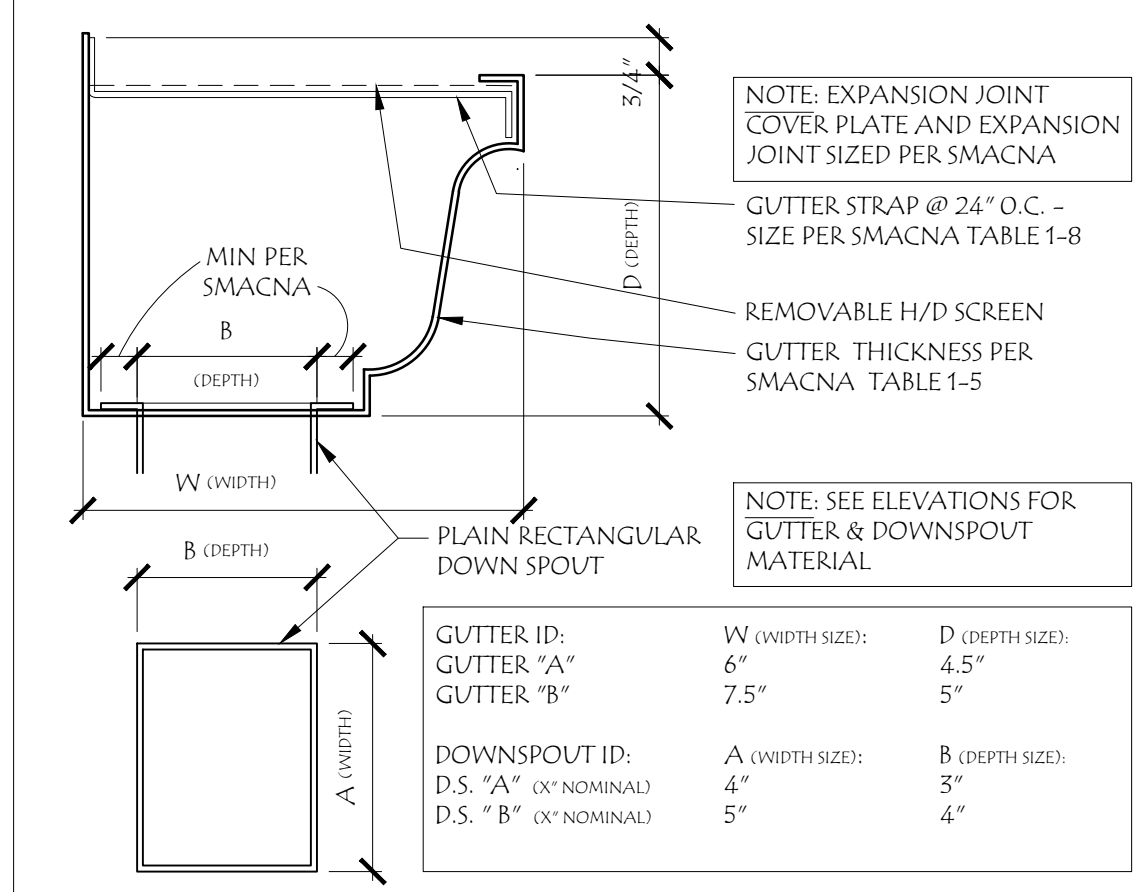
**FLOOR PLAN-AREA B**

**A2.01**

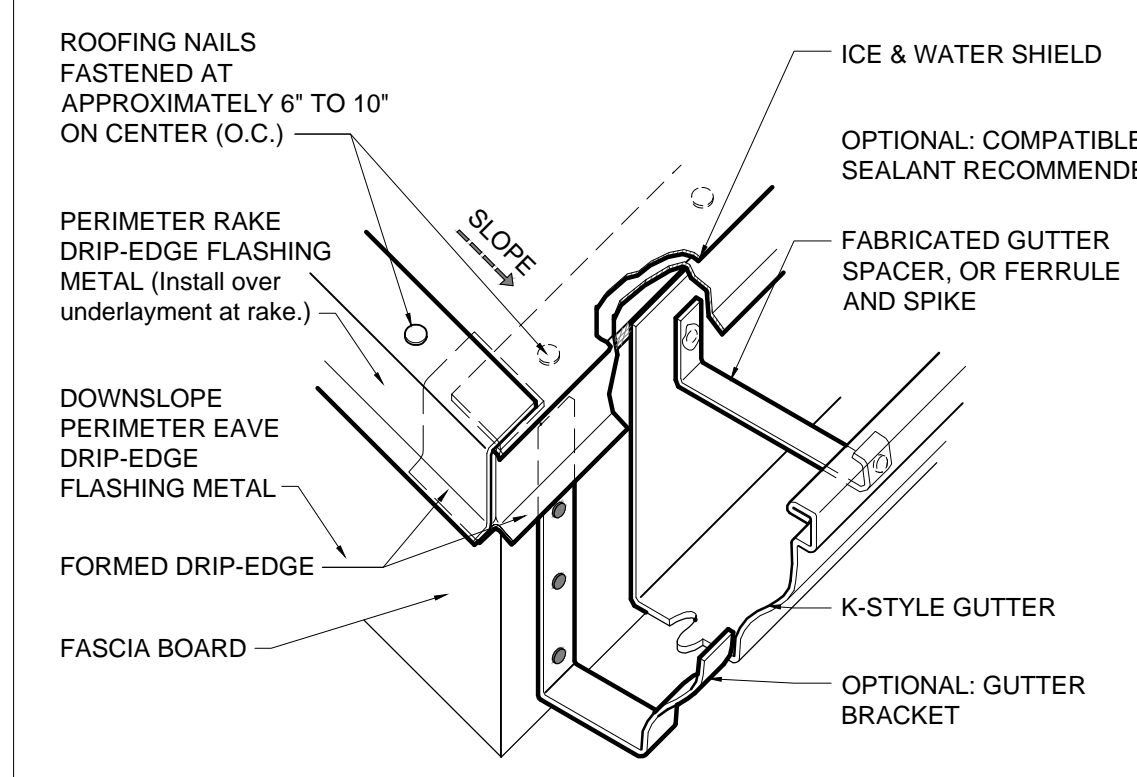




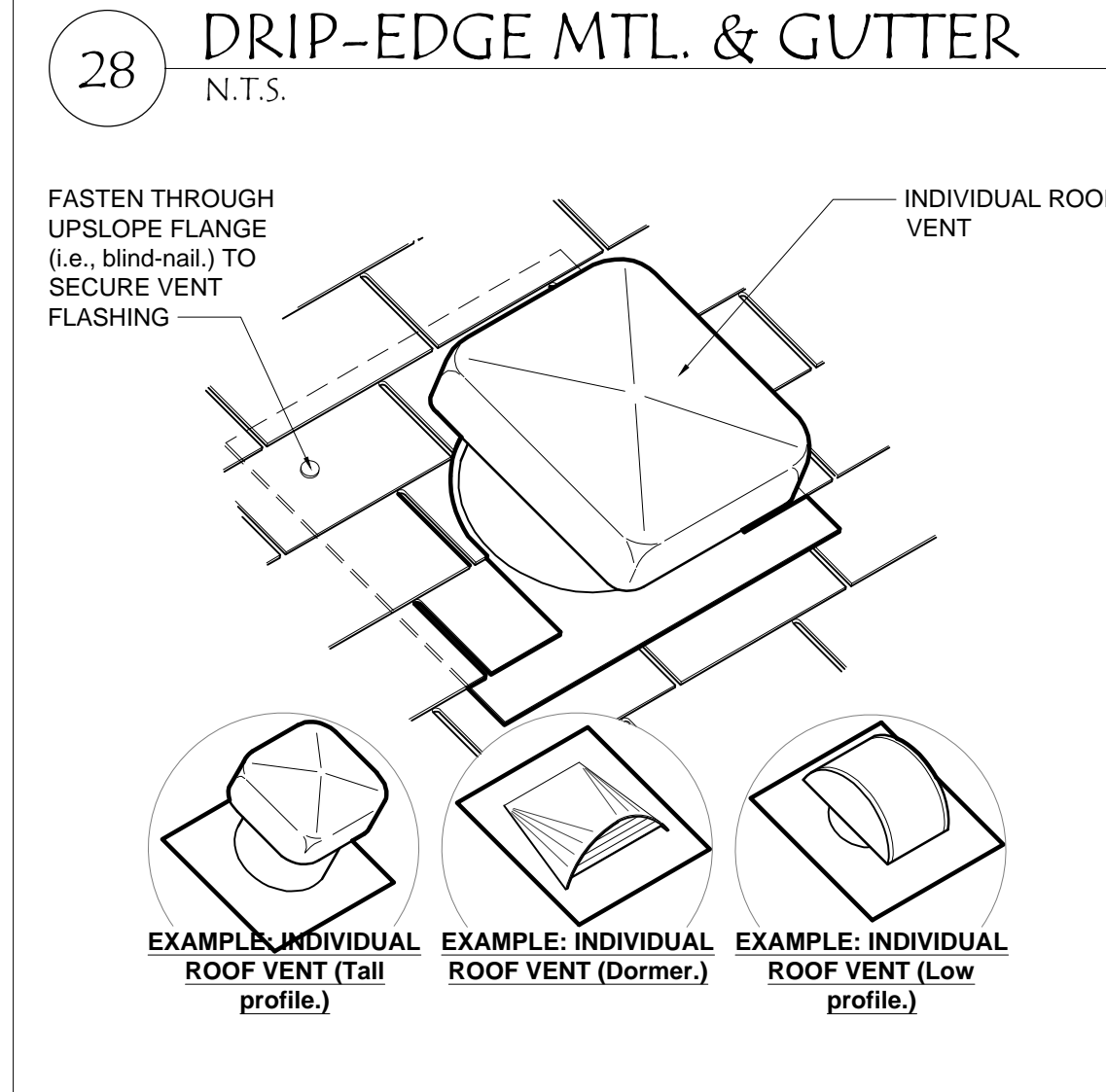
**26 GUTTER @ EAVE DETAIL**  
3" = 1'-0"



**27 GUTTER SIZING DETAIL**  
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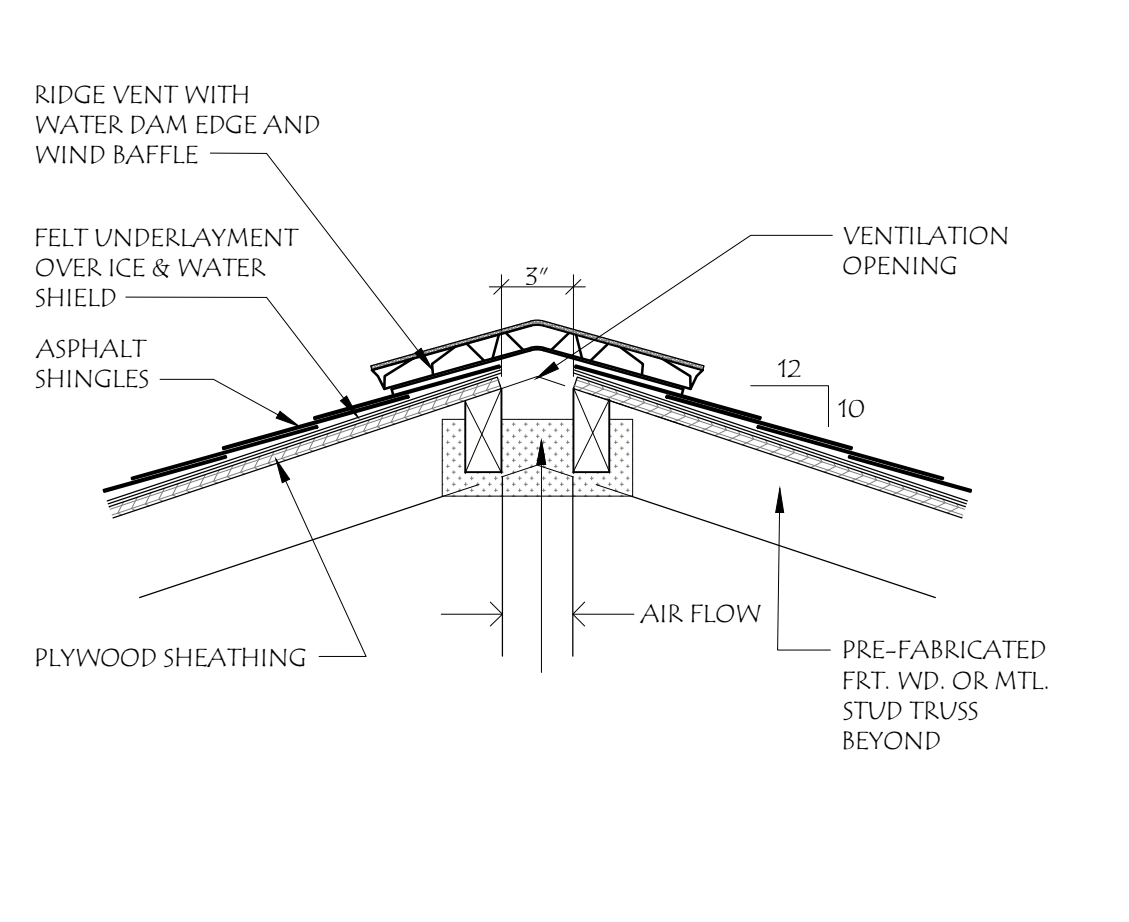


**28 DRIP-EDGE MTL. & GUTTER**  
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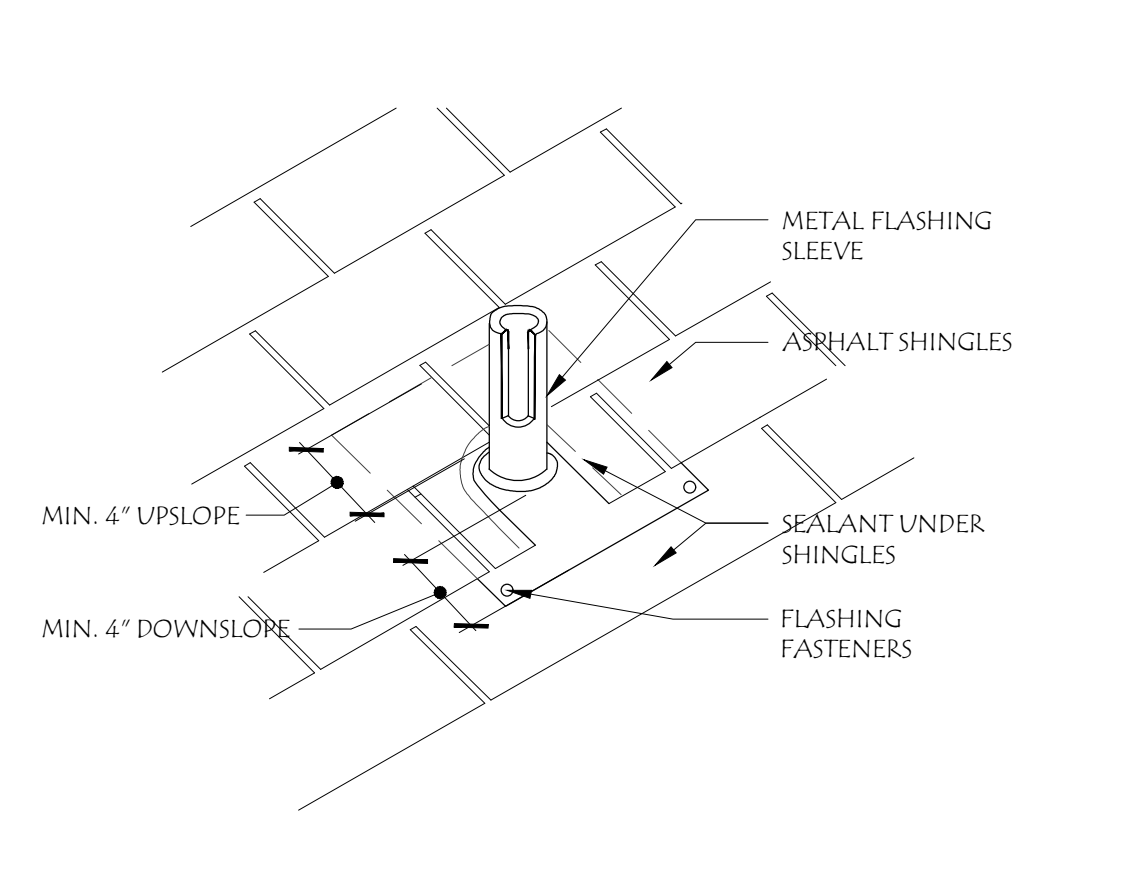


**29 DRIP-EDGE METAL**  
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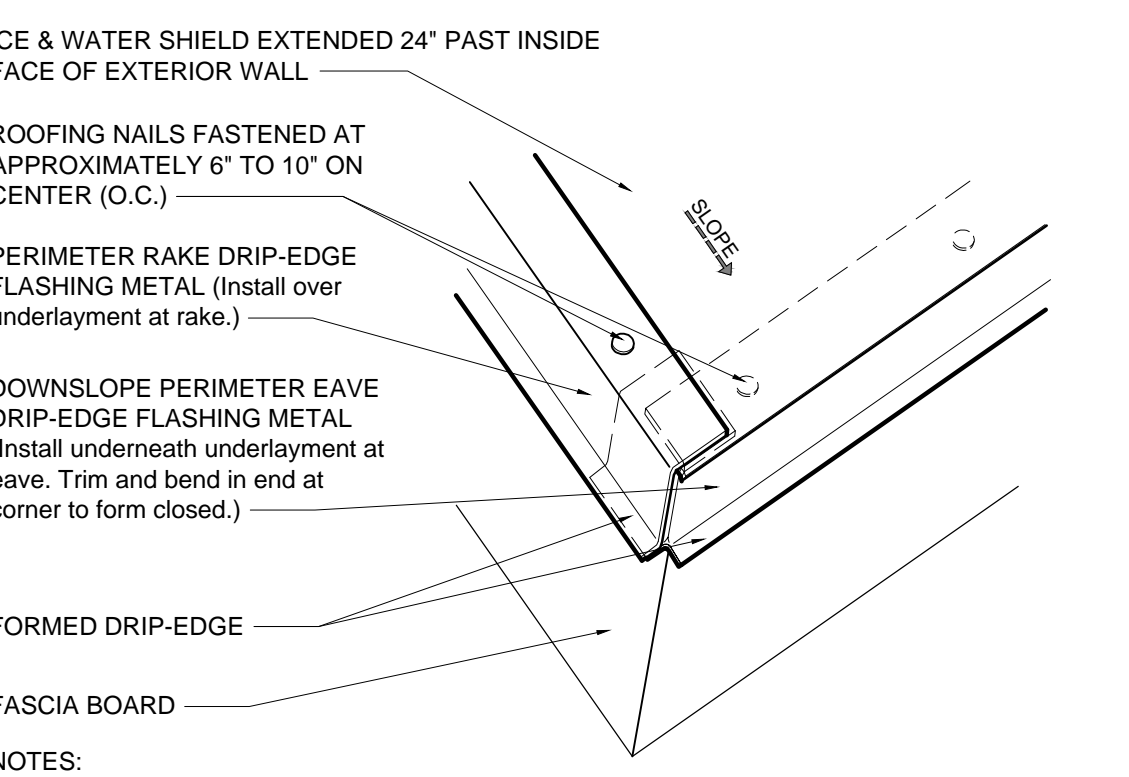
**30 ROOF VENT**  
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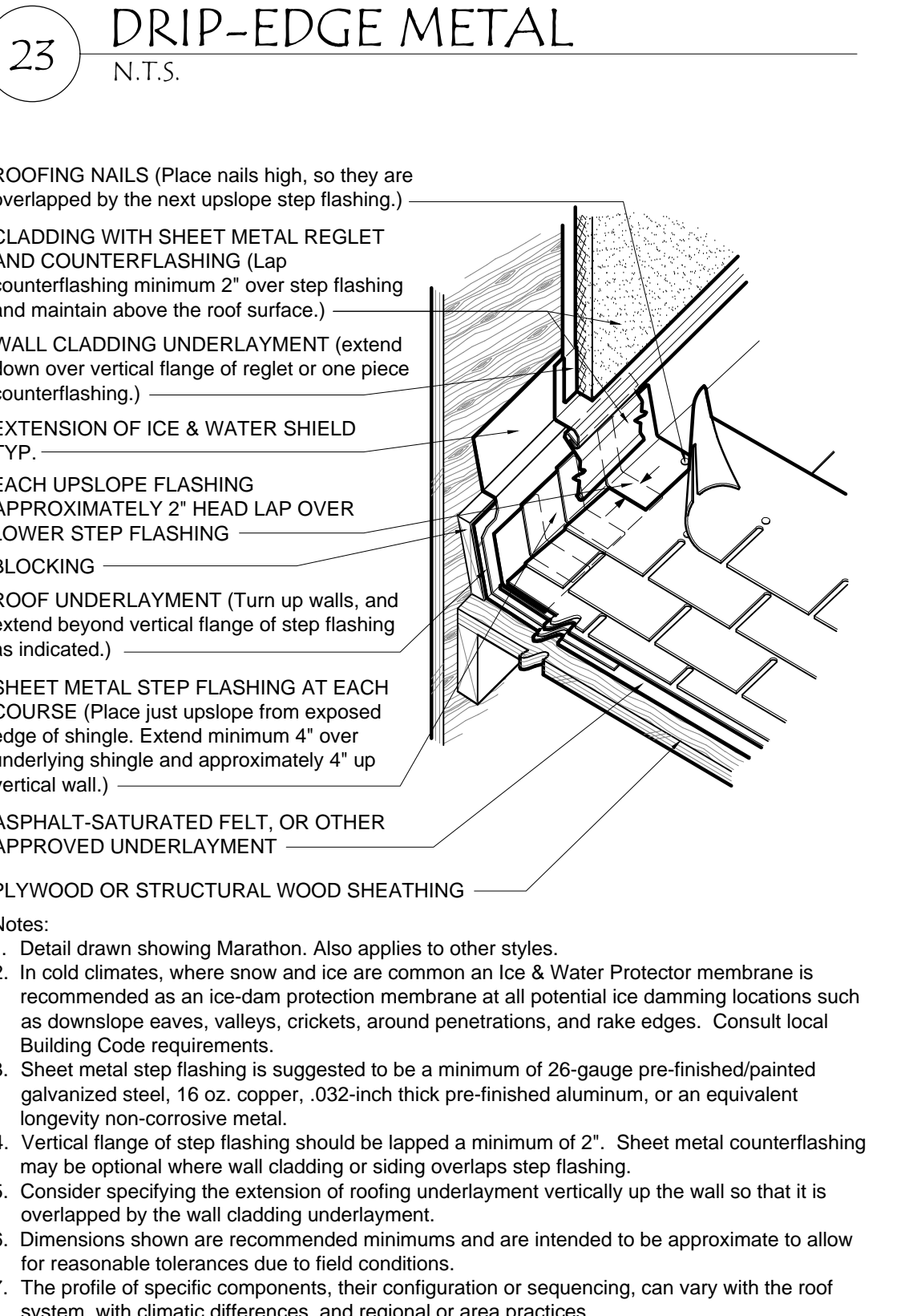
**21 RIDGE VENT**  
1 1/2" = 1'-0"



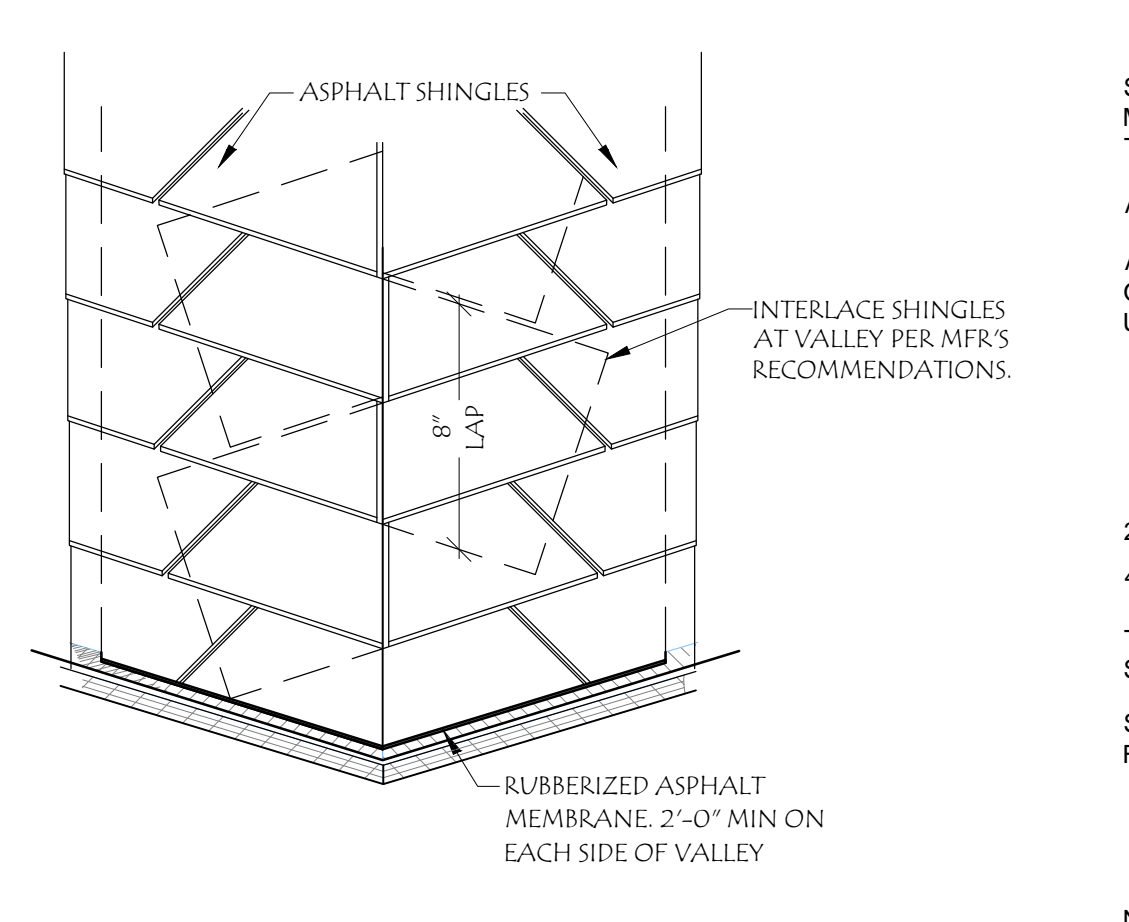
**22 PIPE VENT**  
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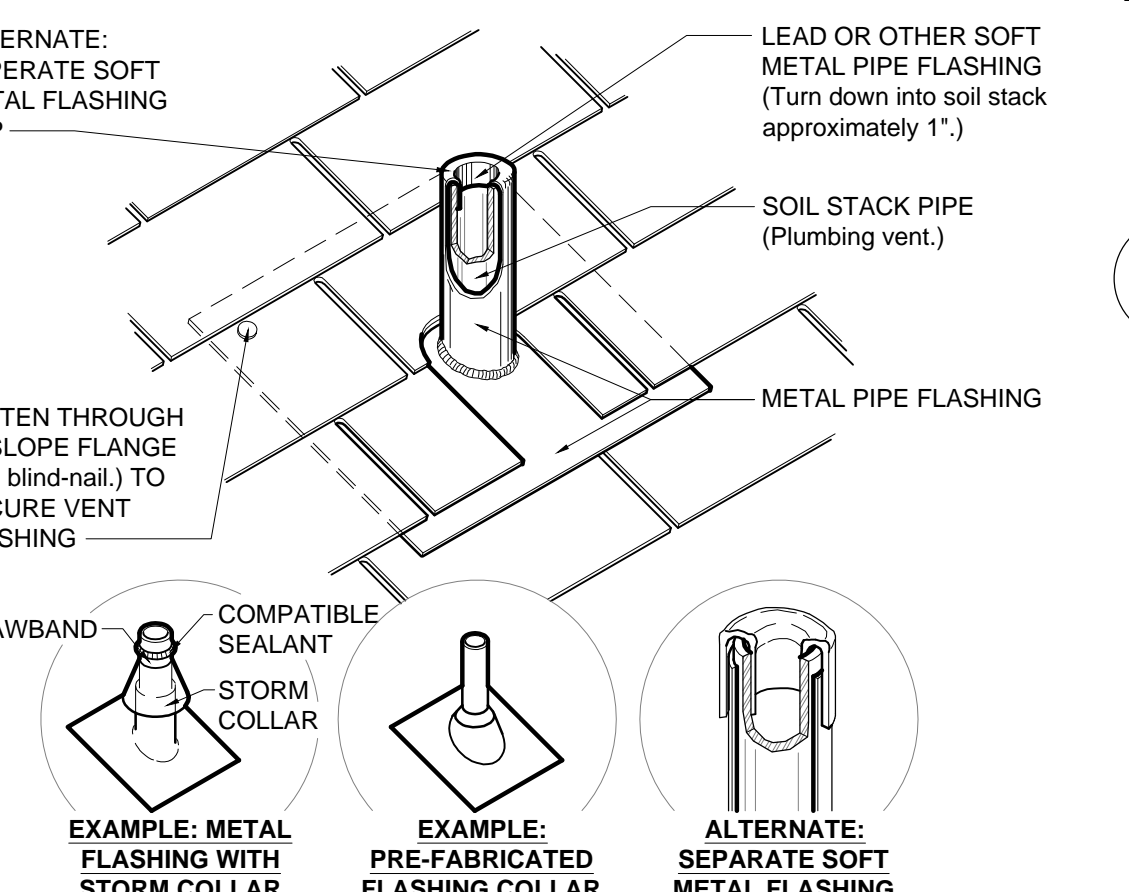
**23 DRIP-EDGE METAL**  
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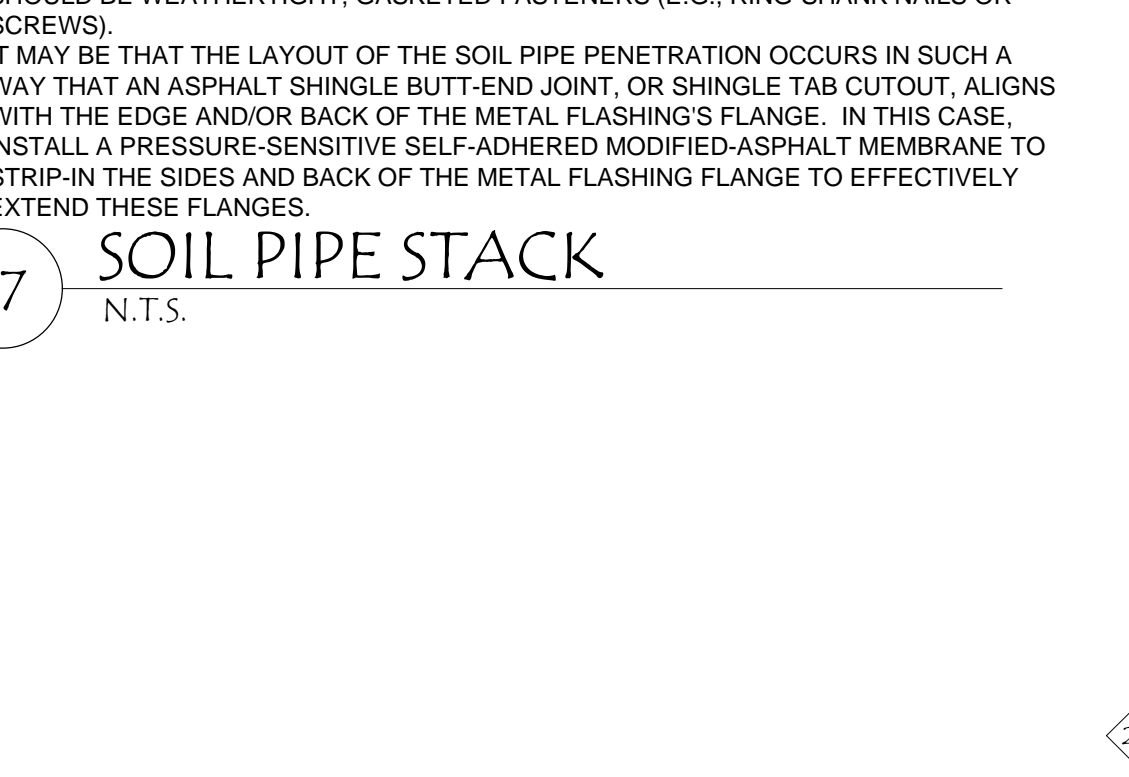
**25 WALL FLASHING**  
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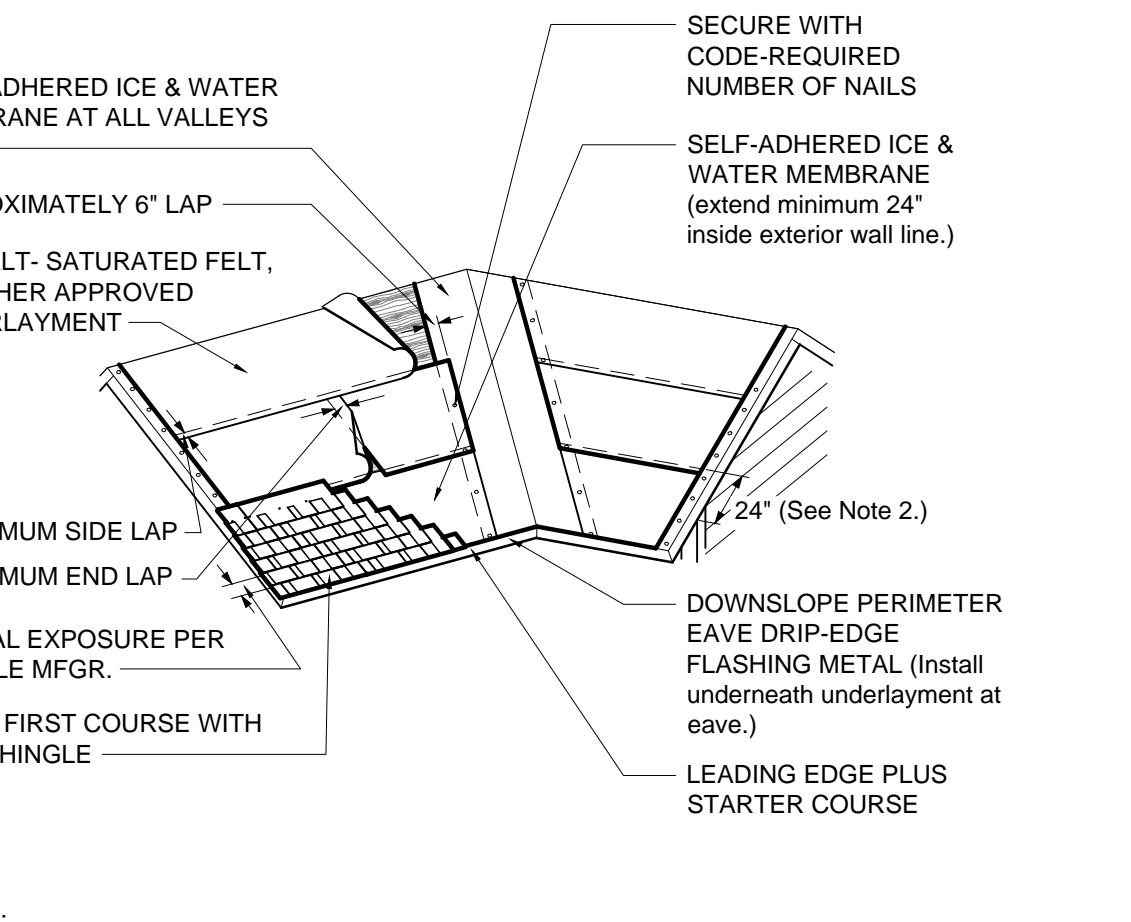
**16 VALLEY FLASHING**  
1 1/2" = 1'-0"



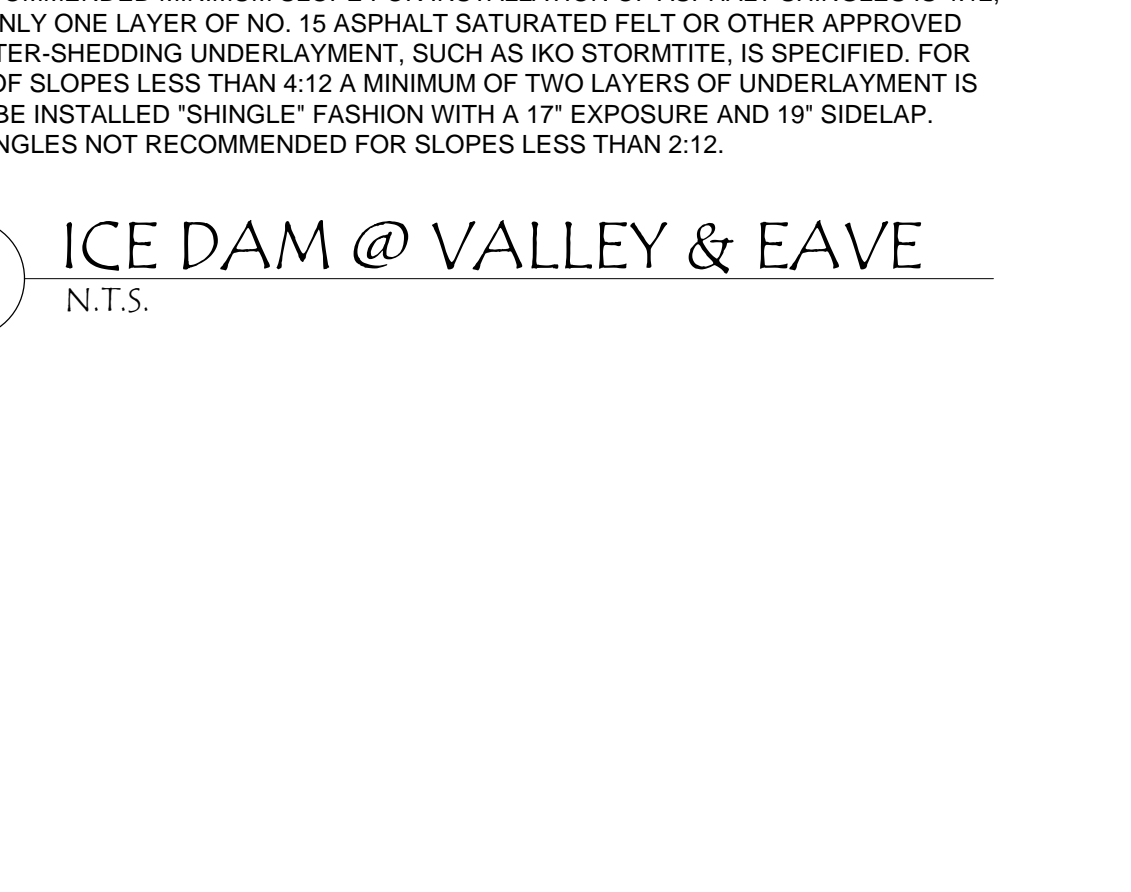
**11 ICE DAM @ VALLEY & EAVE**  
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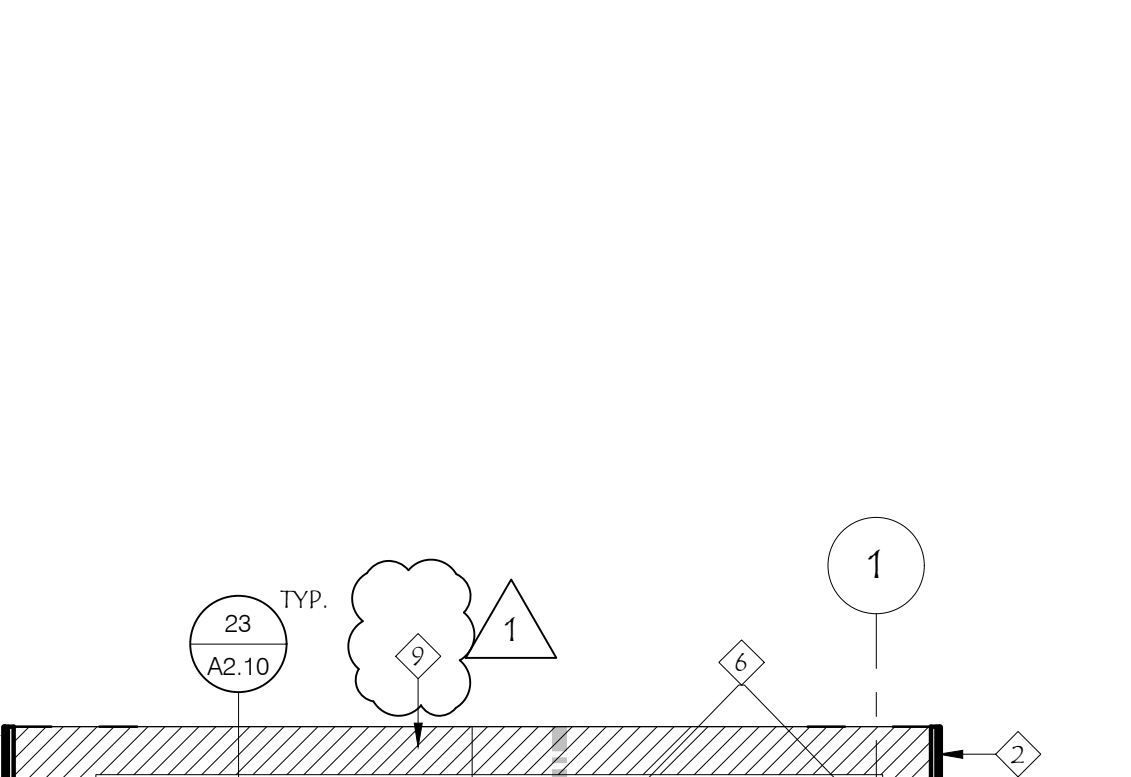
**17 SOIL PIPE STACK**  
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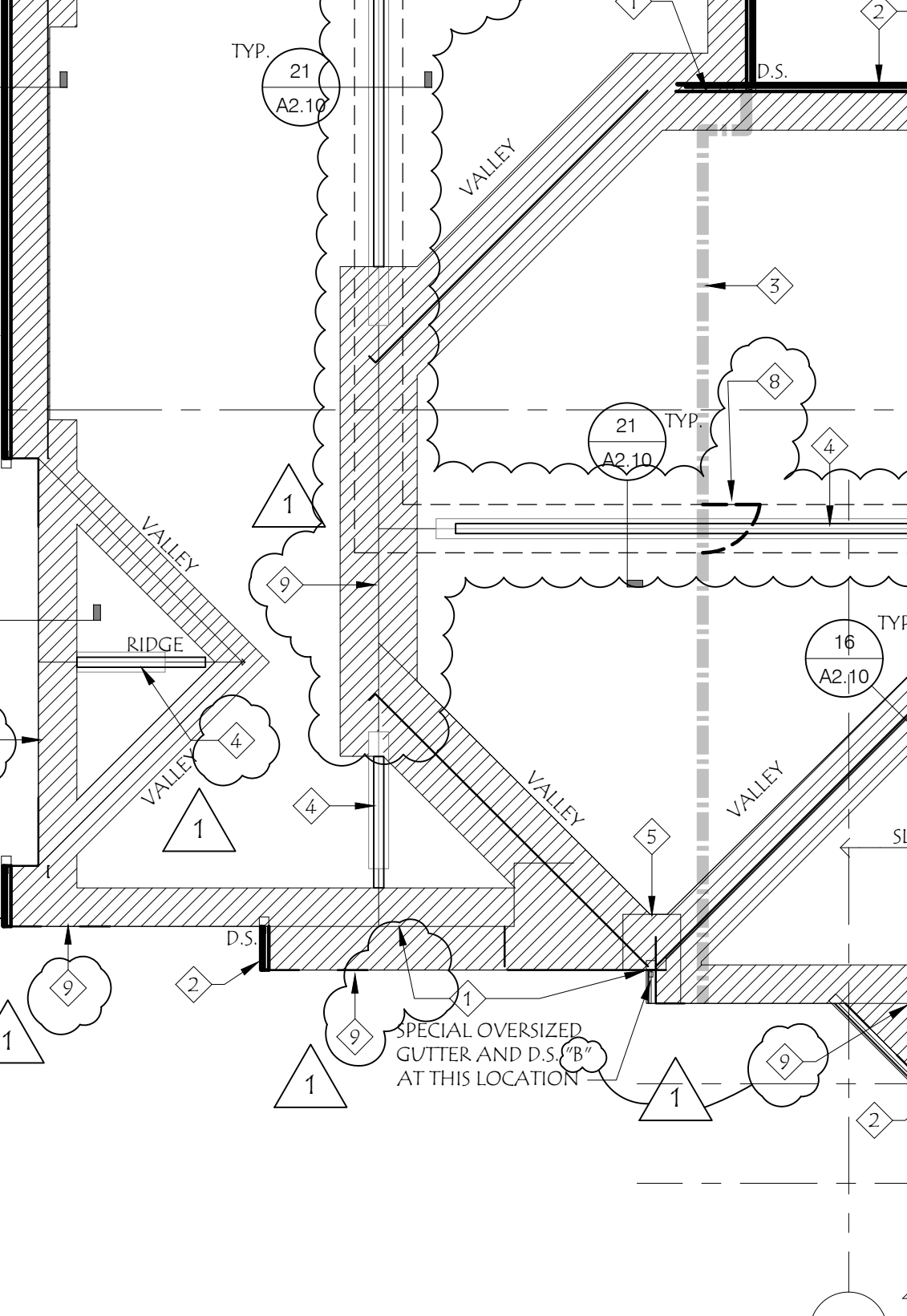
**21 RIDGE VENT**  
1 1/2" = 1'-0"



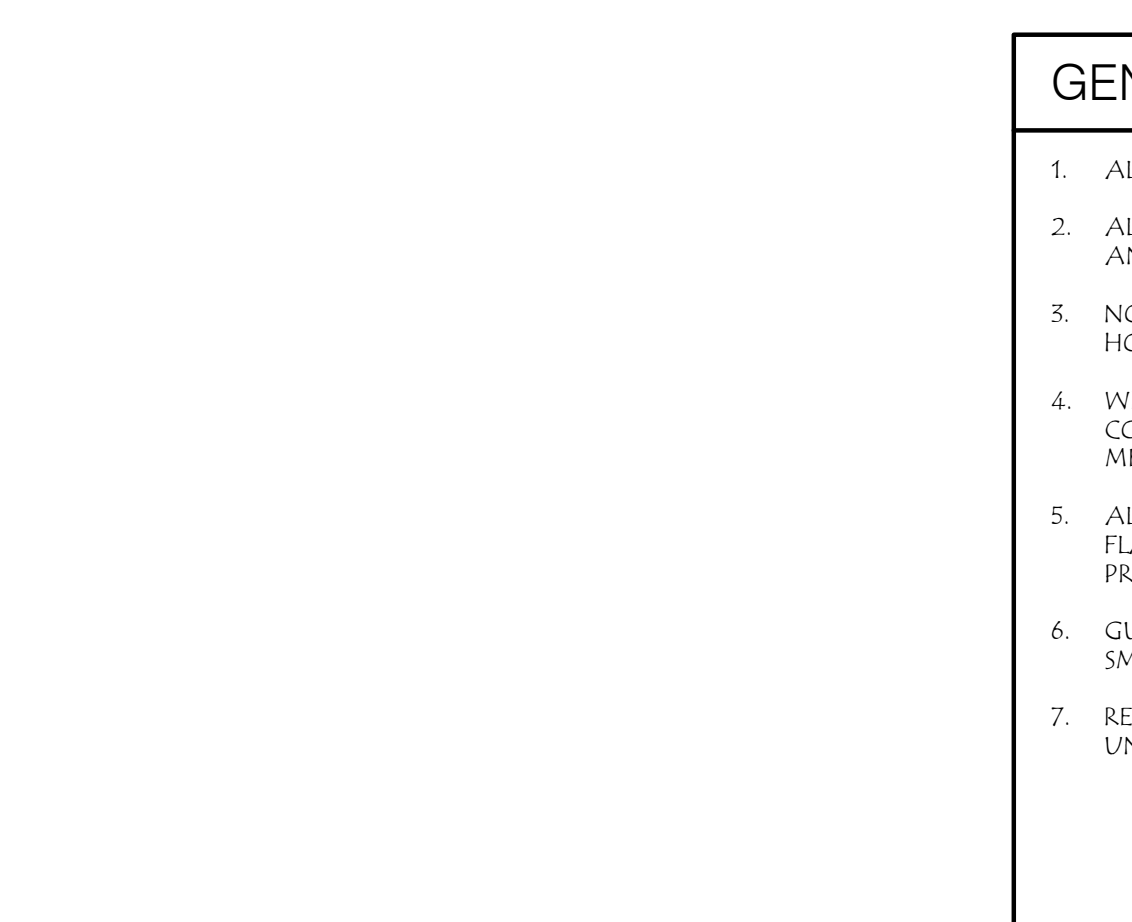
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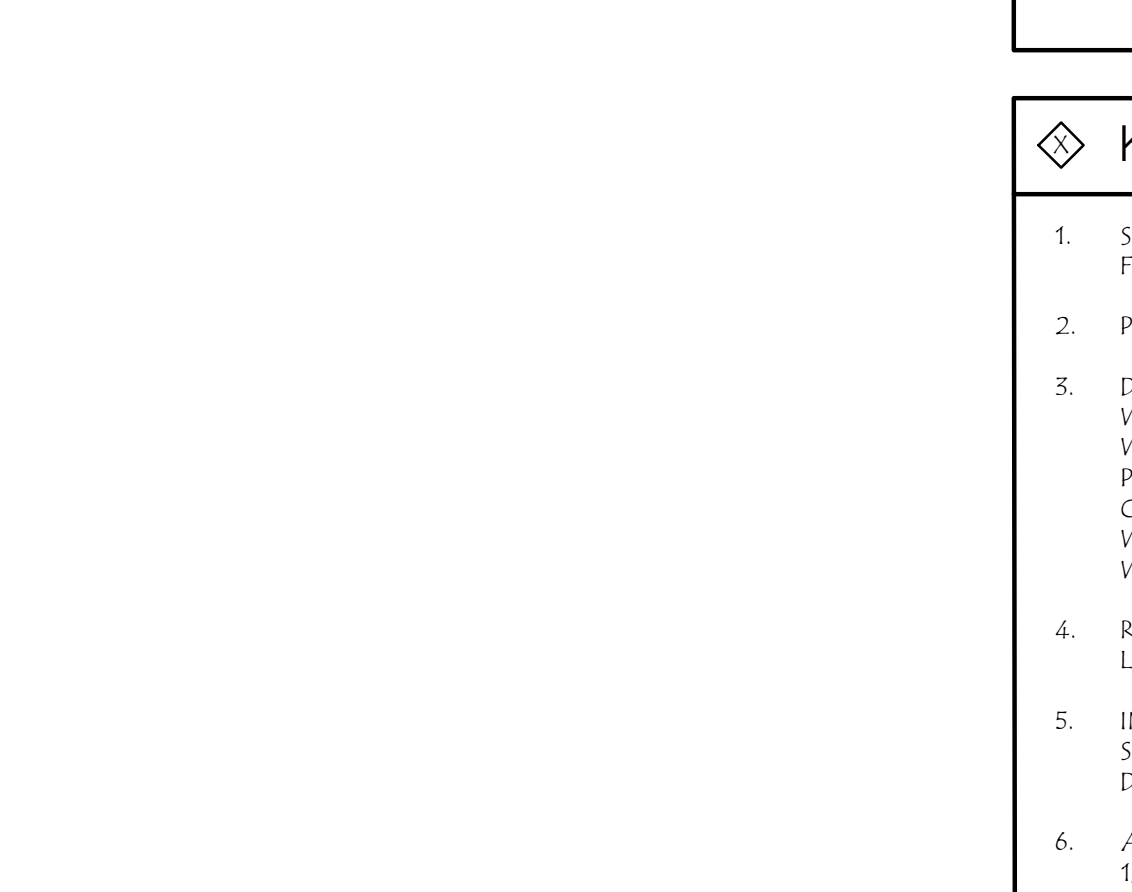
**23 DRIP-EDGE METAL**  
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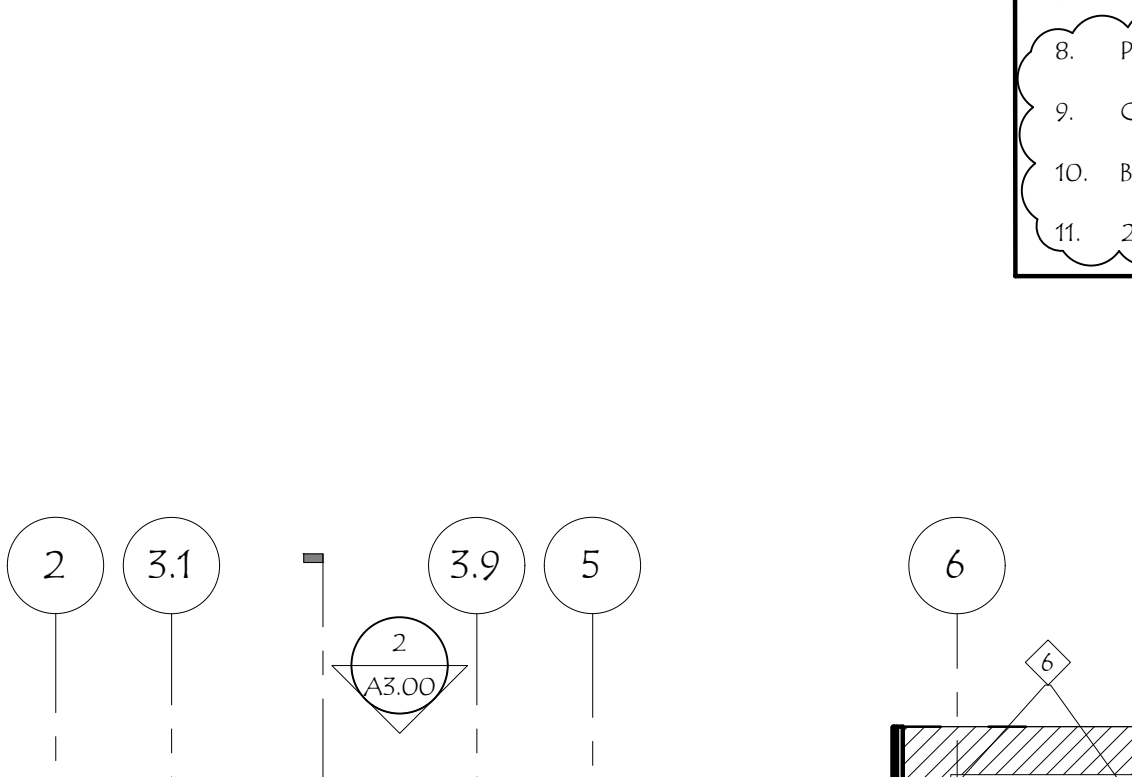
**25 WALL FLASHING**  
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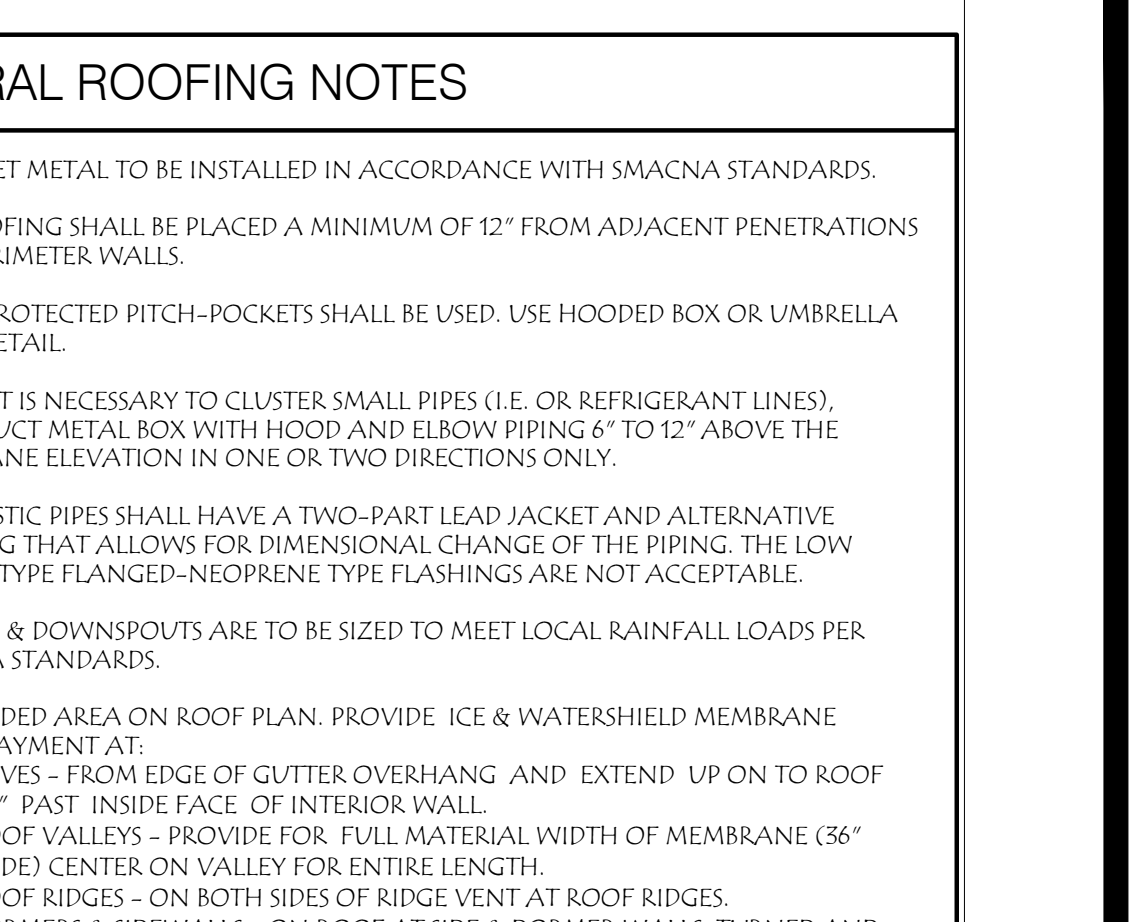
**16 VALLEY FLASHING**  
1 1/2" = 1'-0"



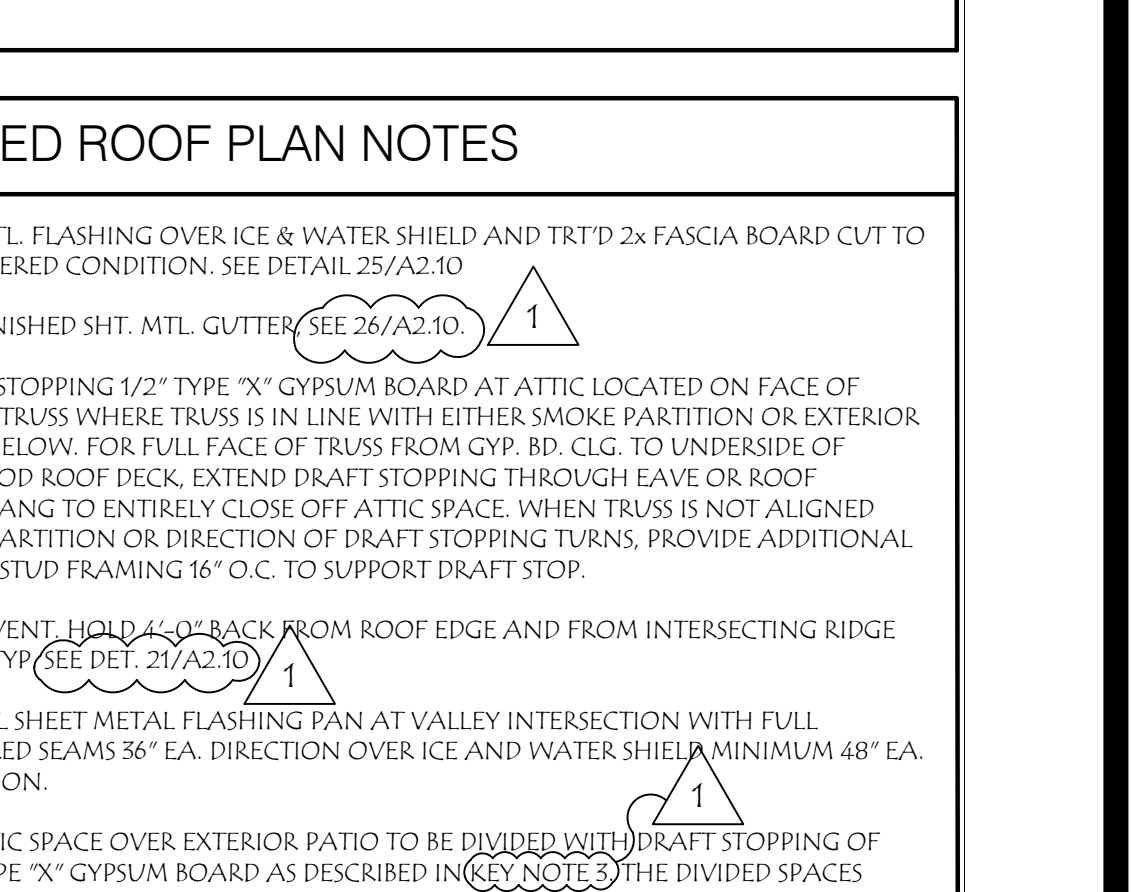
**11 ICE DAM @ VALLEY & EAVE**  
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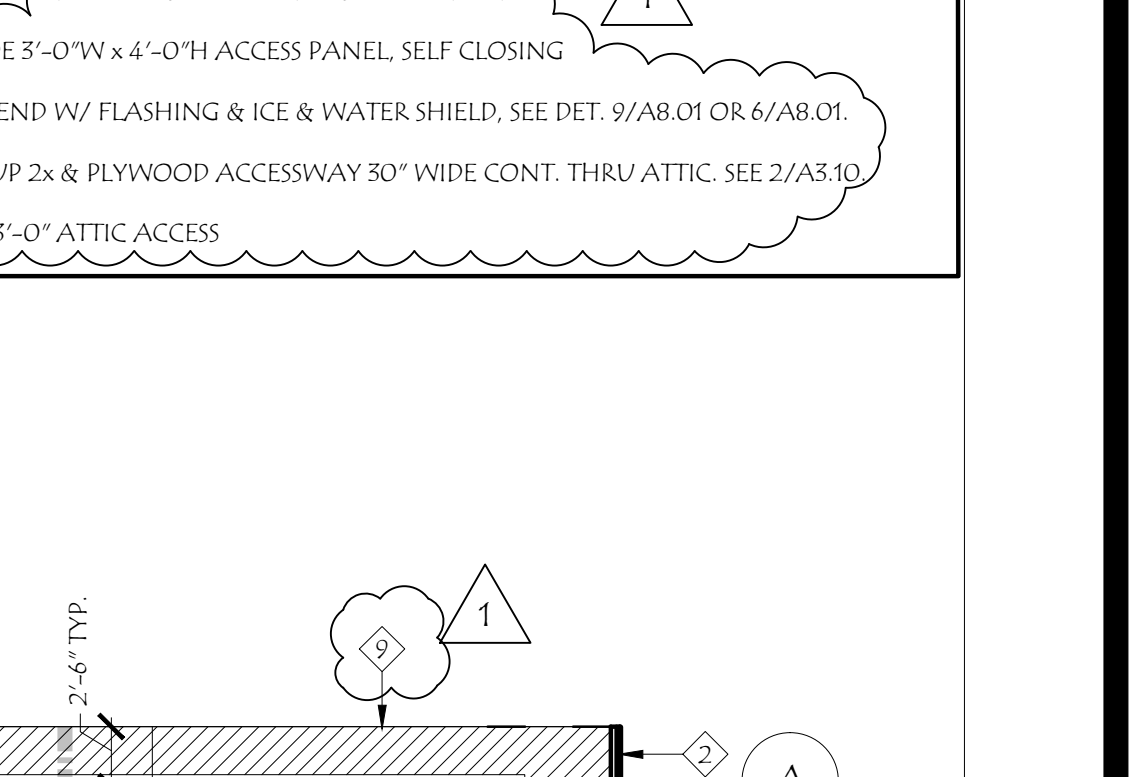
**17 SOIL PIPE STACK**  
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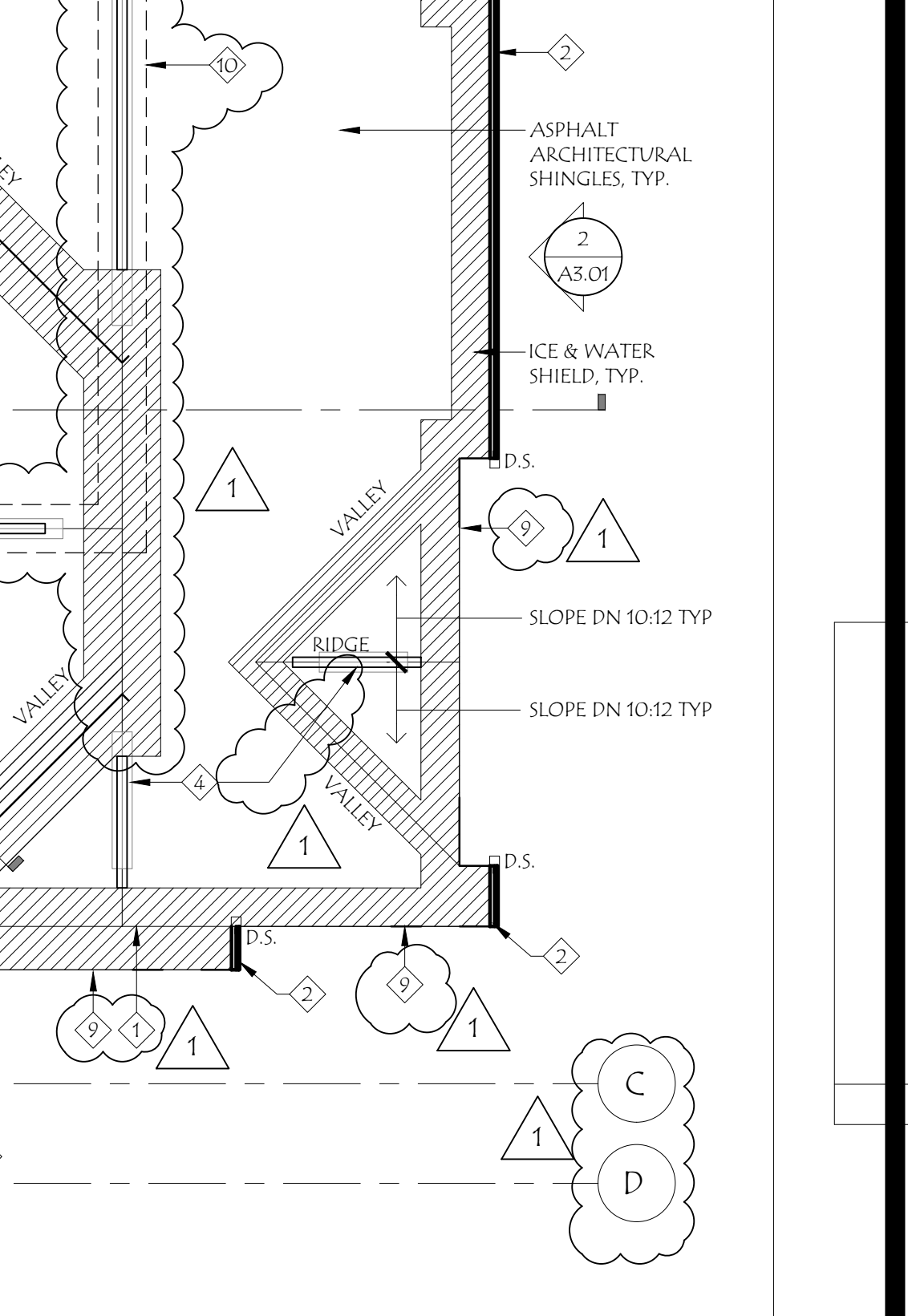
**21 RIDGE VENT**  
1 1/2" = 1'-0"



**22 PIPE VENT**  
N.T.S.



**23 DRIP-EDGE METAL**  
N.T.S.



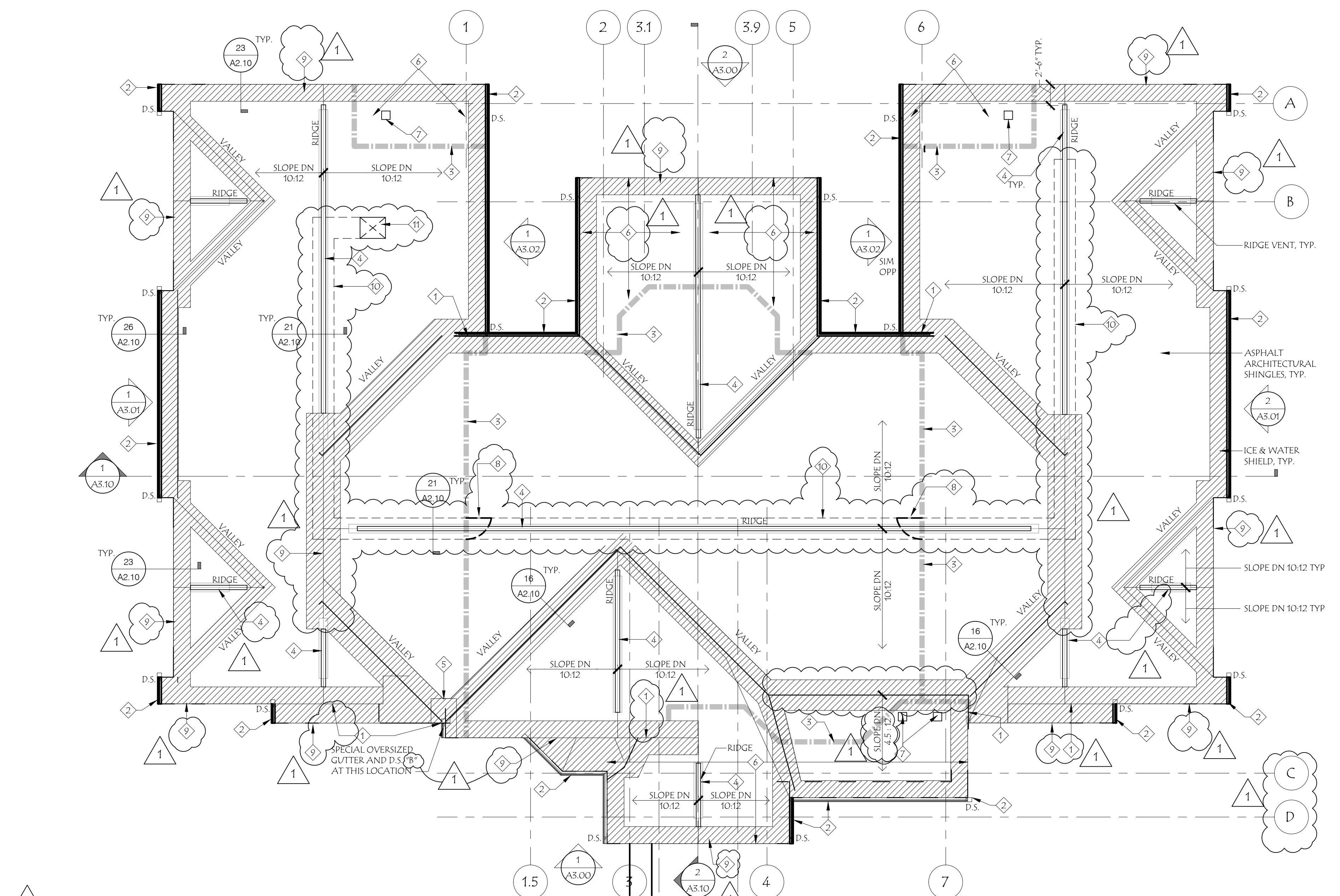
**25 WALL FLASHING**  
N.T.S.

**GENERAL ROOFING NOTES**

1. ALL SHEET METAL TO BE INSTALLED IN ACCORDANCE WITH SMACNA STANDARDS.
2. ALL ROOFING SHALL BE PLACED A MINIMUM OF 12" FROM ADJACENT PENETRATIONS AND PERIMETER WALLS.
3. NO UNPROTECTED PITCH-POCKETS SHALL BE USED. USE HOODED BOX OR UMBRELLA HOOD DETAIL.
4. WHERE IT IS NECESSARY TO CLUSTER SMALL PIPES (I.E. REFRIGERANT LINES), CONSTRUCT METAL BOX WITH HOOD AND ELBOW PIPING 6" TO 12" ABOVE THE MEMBRANE ELEVATION IN ONE OR TWO DIRECTIONS ONLY.
5. ALL PLASTIC PIPES SHALL HAVE A TWO-PART LEAD JACKET AND ALTERNATIVE FLASHING THAT ALLOWS FOR DIMENSIONAL CHANGE OF THE PIPE. THE LOW PROFILE TYPE FLANGES-NEOPRENE TYPE FLASHINGS ARE NOT ACCEPTABLE.
6. GUTTERS & DOWNSPOUTS ARE TO BE SIZED TO MEET LOCAL RAINFALL LOADS PER SMACNA STANDARDS.
7. REF. SHAPED AREA ON ROOF PLAN. PROVIDE ICE & WATERSHIELD MEMBRANE UNDERLAYMENT AT:
  - 1) EAVES - FROM EDGE OF GUTTER OVERHANG AND EXTEND UP ON TO ROOF 24" PAST INSIDE FACE OF INTERIOR WALL.
  - 2) ROOF VALLEYS - PROVIDE FOR FULL MATERIAL WIDTH OF MEMBRANE (36" WIDE) CENTER ON VALLEY FOR ENTIRE LENGTH.
  - 3) ROOF RIDGES - ON BOTH SIDES OF RIDGE VENT AT ROOF RIDGES.
  - 4) PORCHES & SIDE WALLS - ON ROOF AT SIDE & PORCH WALLS, TURNED AND EXTENDED UP WALL.
  - 5) RAKE EDGES - ALONG THE RAKE EDGE EXTENDED UP ONTO ROOF 24" PAST INSIDE FACE OF INTERIOR WALL.
  - 6) ALONG EVERY WALL, CHIMNEY, & ROOF PENETRATION WHERE FLASHING WILL BE INSTALLED.

**KEYED ROOF PLAN NOTES**

1. SHIT. MTL. FLASHING OVER ICE & WATER SHIELD AND TRTD. 2x FASCIA BOARD CUT TO FIT TAPERED CONDITION. SEE DETAIL 25/A2.10.
2. PRE-FINISHED SHIT. MTL. GUTTER. SEE 26/A2.10.
3. DRAFT STOPPING 1/2" TYPE "X" GYPSUM BOARD AT ATTIC LOCATED ON FACE OF WOOD TRUSS WHERE TRUSS IS IN LINE WITH EITHER SMOKE PARTITION OR EXTERIOR WALL BELOW. FOR FULL FACE OF TRUSS FROM GYP. BD. CLG. TO UNDERSIDE OF PLYWOOD ROOF DECK. EXTEND DRAFT STOPPING THROUGH EAVE ON ROOF OVERHANG TO ENTIRELY CLOSE OFF ATTIC SPACE. WHEN TRUSS IS NOT ALIGNED WITH PARTITION OR DIRECTION OF DRAFT STOPPING TURNS, PROVIDE ADDITIONAL WOOD STUD FRAMING 16" O.C. TO SUPPORT DRAFT STOP.
4. RIDGE VENT HOLD 4" OFF BACK FROM ROOF EDGE AND FROM INTERSECTING RIDGE LINES. TYP. SEE DET. 21/A2.10.
5. INSTALL SHEET METAL FLASHING PAN AT VALLEY INTERSECTION WITH FULL SOLDERED SEAMS 36" EA. DIRECTION OVER ICE AND WATER SHIELD MINIMUM 48" EA. DIRECTION.
6. AT ATTIC SPACE OVER EXTERIOR PATIO TO BE PULLED WITH DRAFT STOPPING OF 1/2" TYPE "X" GYPSUM BOARD AS DESCRIBED IN KEY NOTE. THE DIVIDED SPACES SHALL NOT EXCEED 55 SQ. FT. IN AREA. ROOF EXPOSED MATERIAL OVER AREA TO BE CLASS A. ROOF EXPOSED MATERIAL OVER AREA TO BE CLASS A. NON-COMBUSTIBLE AND ROCK SOFT MATERIAL TO UNDERSIDE OF ROOF TRUSSES. --- OR --- IN PLACE OF DRAFT STOPPING, ADD ATTIC FIRE SUPPRESSION SYSTEM PER NFPA 15.
7. ROOF VENT AT HIGH SIDE OF DRAFT STOPPED AREA.
8. PROVIDE 3'-0" W x 4'-0" H ACCESS PANEL. SELF CLOSING.
9. GABLE END W/ FLASHING & ICE & WATER SHIELD. SEE DET. 9/AB.D1 OR 6/AB.O1.
10. BUILT-UP 2x & PLYWOOD ACCESSWAY 30" WIDE CONT. THRU ATTIC. SEE 2/A2.10.
11. 2'-6" x 3'-0" ATTIC ACCESS.



**1 ROOF PLAN**  
1/8" = 1'-0"

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BID / PERMIT / CONST. 05/23/19  
ADDENDUM #1 06/12/19

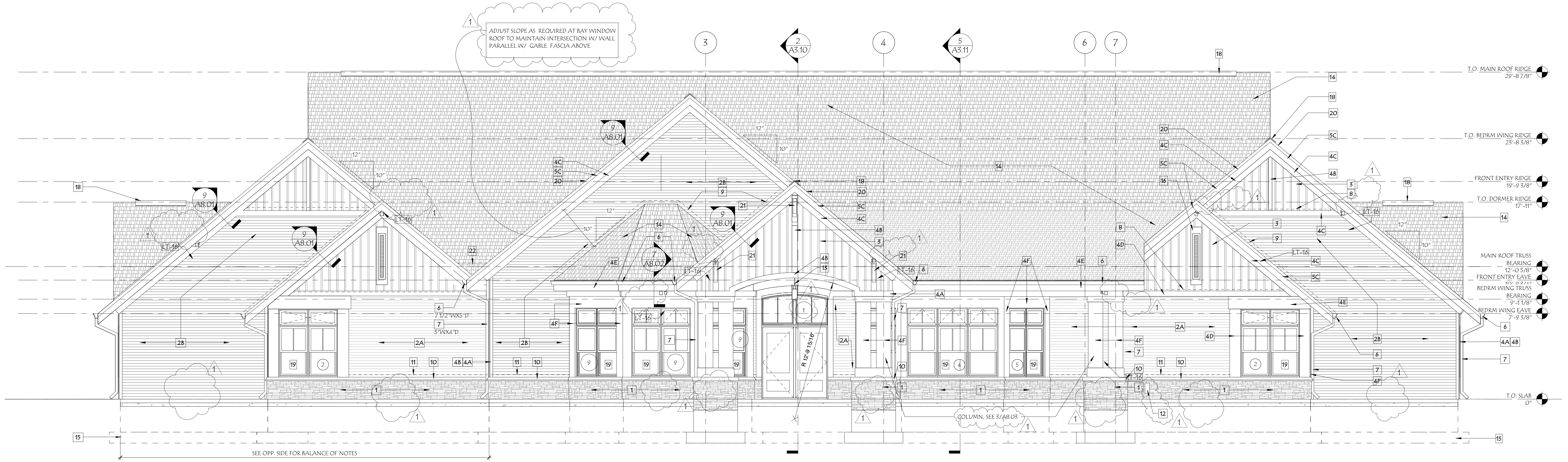
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**ROOF PLAN & ROOF DETAILS**

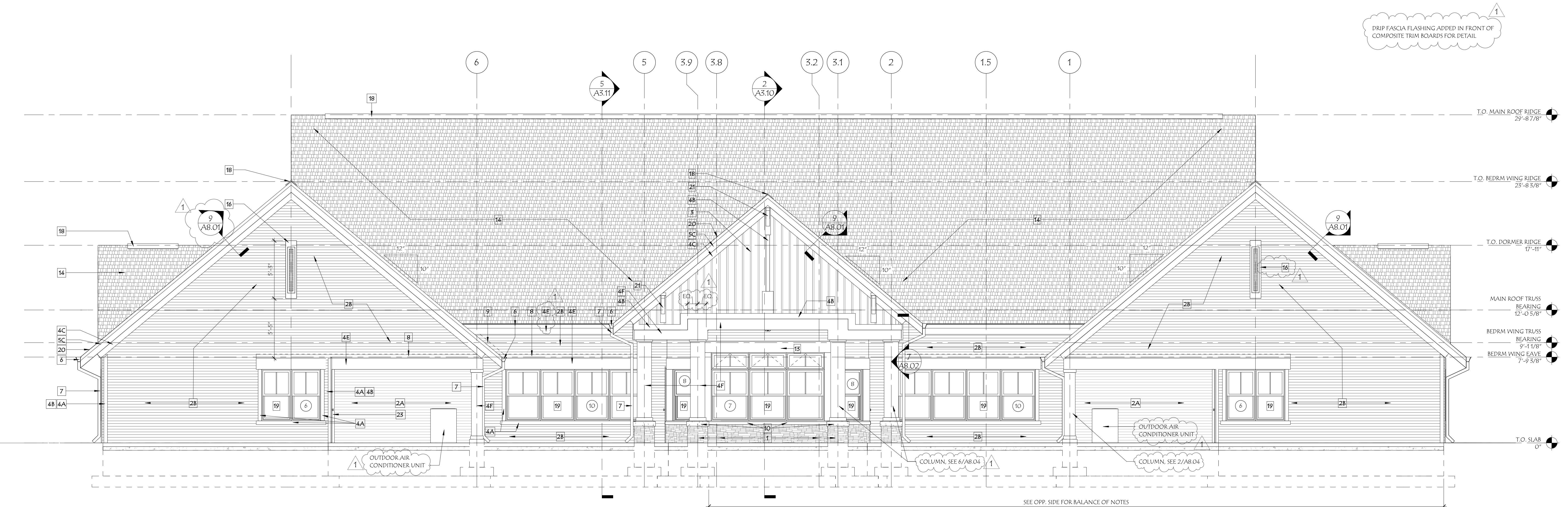
**A2.10**



- 1. EXTERIOR MATERIAL LEGEND SEE SHEET A3.01
- 2. FOR WINDOW TYPES SEE SHEET A8.6 FOR WINDOW NOS. SHOWN.



**1 EAST ELEVATION - FRONT**  
1/4" = 1'-0"



**2 WEST ELEVATION - REAR**  
1/4" = 1'-0"

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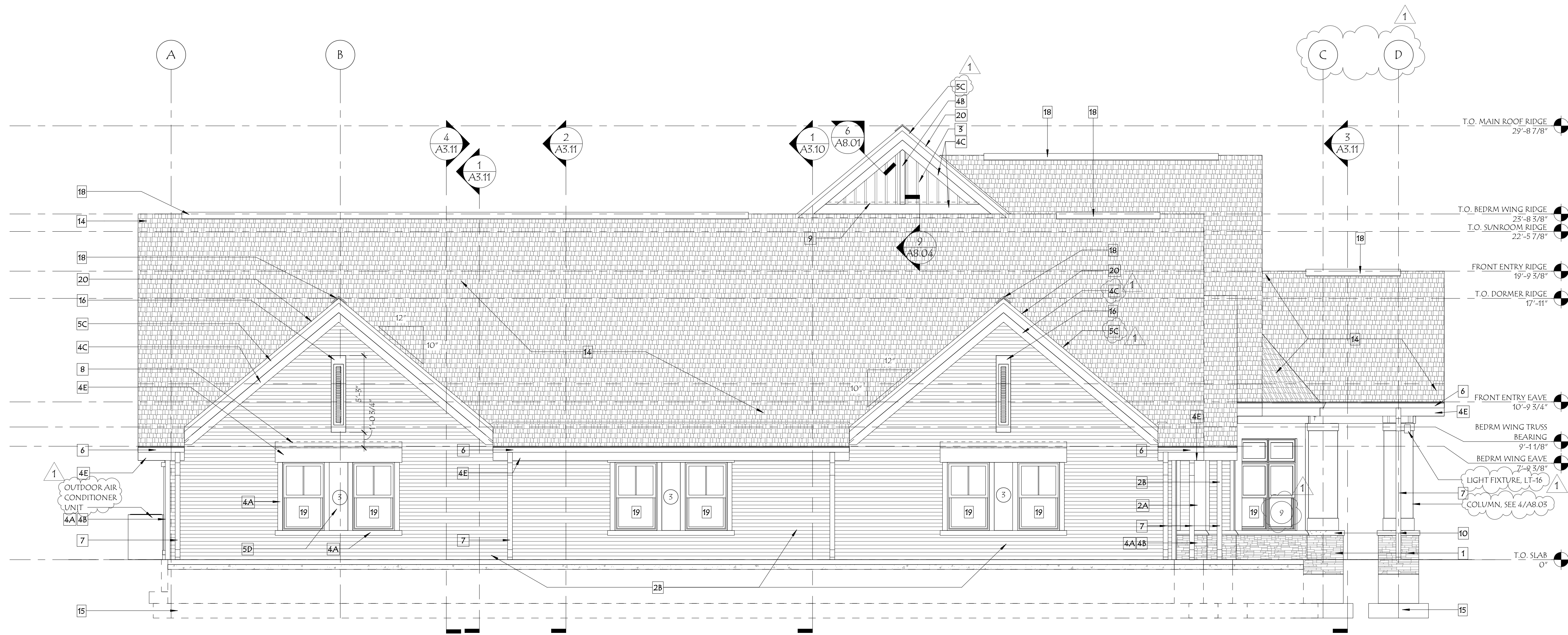
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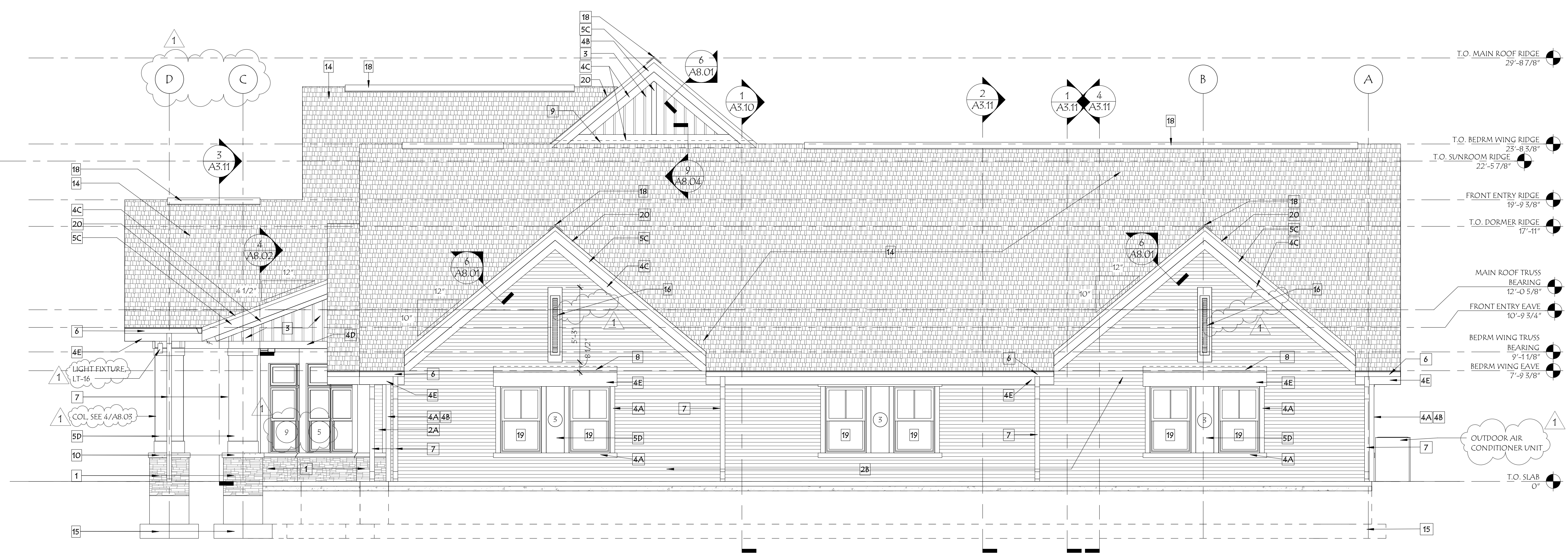
**EXTERIOR ELEVATIONS**

**A3.00**





1 SOUTH ELEVATION  
1/4" = 1'-0"



2 NORTH ELEVATION  
1/4" = 1'-0"

EXTERIOR MATERIAL LEGEND				
TYPE	MATERIAL	MANUFACTURER	MODEL/COMMENT	COLOR
1	ADHERED STONE	CULTURED STONE	COBBLEFIELD, THIN SET STONE	TBD BY ARCHITECT
2A	HORIZONTAL LAP SIDING	JAMES HARDIE	CEDARMILL, 5" EXPOSURE	LIGHT MIST
2B	HORIZONTAL LAP SIDING	JAMES HARDIE	CEDARMILL, 5" EXPOSURE	EVENING BLUE
3	VERTICAL FIBER CEMENT SIDING	JAMES HARDIE	SMOOTH HARDIE PANEL SIDING WITH VERTICAL 3/4" X 1 1/2" HARDIE BATTEN BOARDS 8" O.C.	LIGHT MIST
4A	5/4" X 3 1/2" COMPOSITE TRIM BOARD (1" ACTUAL)	JAMES HARDIE	SMOOTH	ARTIC WHITE
4B	5/4" X 4 1/2" COMPOSITE TRIM BOARD (1" ACTUAL)	JAMES HARDIE	SMOOTH	ARTIC WHITE
4C	5/4" X 5 1/2" COMPOSITE TRIM BOARD (1" ACTUAL)	JAMES HARDIE	SMOOTH	ARTIC WHITE
4D	5/4" X 8 1/4" COMPOSITE TRIM BOARD (1" ACTUAL)	JAMES HARDIE	SMOOTH PAD OUT 3/4" WHEN STACKED OVER LOWER BOARD TRIM	ARTIC WHITE
4E	5/4" X 11 1/4" COMPOSITE TRIM BOARD (1" ACTUAL)	JAMES HARDIE	SMOOTH	ARTIC WHITE
4F	5/4" COMPOSITE TRIM BOARD (1" ACTUAL)	JAMES HARDIE	SMOOTH	ARTIC WHITE
5A	4/4" X 3 1/2" COMPOSITE TRIM BOARD (3/4" ACTUAL)	JAMES HARDIE	SMOOTH	ARTIC WHITE
5B	4/4" X 5 1/2" COMPOSITE TRIM BOARD (3/4" ACTUAL)	JAMES HARDIE	SMOOTH	ARTIC WHITE
5C	4/4" X 7 1/4" COMPOSITE TRIM BOARD (3/4" ACTUAL)	JAMES HARDIE	SMOOTH	ARTIC WHITE
5D	4/4" COMPOSITE TRIM BOARD (3/4" ACTUAL)	JAMES HARDIE	SMOOTH	ARTIC WHITE
6	PREFINISHED SHEET MTL GLUTTER	-	6"W X 4 1/2"D (U.N.O.)	WHITE
7	PREFINISHED SHEET MTL DOWN SPOUT	-	4"W X 3"D (U.N.O.)	WHITE
8	PREFINISHED SHEET MTL "Z" FLASHING	-	-	WHITE
9	PREFINISHED SHEET MTL FLASHING W/4" VERT. LEG OVER ICE & WATER SHIELD	-	-	-
10	PRECAST WATERTABLE/SILL	-	-	-
11	PREFINISHED SHEET MTL FLASHING	-	-	-
12	HOSE BIBB	-	-	-
13	LIGHT FIXTURE	-	-	-
14	ASPHALT ARCHITECTURAL SHINGLES	-	-	-
15	CONCRETE FOOTING. SEE STRUCT.	-	-	-
16	WALL LOUVER - SEE DETAIL 7/A8.01	-	-	-
18	RIDGE VENT	-	-	-
19	SINGLE HUNG VINYL WINDOW	-	SEE SHEET A8.6 FOR WINDOW TYPES	-
20	PREFINISHED SHEET MTL DRIP EDGE TRIM	-	-	-
21	ORNAMENTAL PVC BRACKET AT INTERSECTION OF VALLEYS	-	SUBMIT STYLES	-
22	PROVIDE SHEET MTL FLASHING AT ROOF 36" ON ALL SLOPED SURFACES OVER ICE & WATER SHIELD. WRAP SHEET MTL OVER FASCIA BOARDS AND INTO GUTTER.	-	-	-
23	COMPOSITE INSIDE TRIM BOARD (3/4" ACTUAL)	JAMES HARDIE	SMOOTH	ARTIC WHITE
24	GROUND MOUNTED UP-LIGHT	-	-	-

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**EXTERIOR ELEVATIONS**

**A3.01**



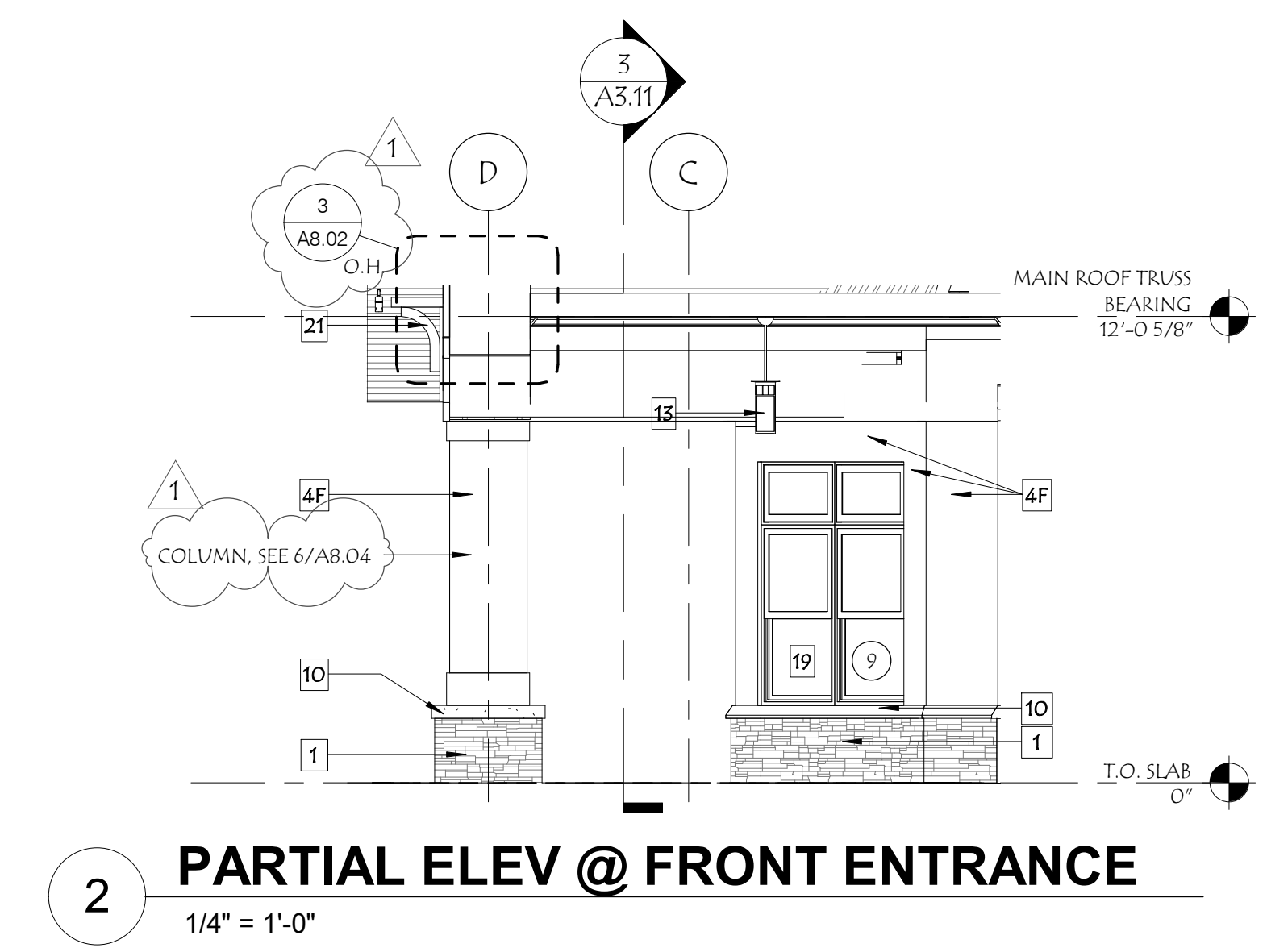
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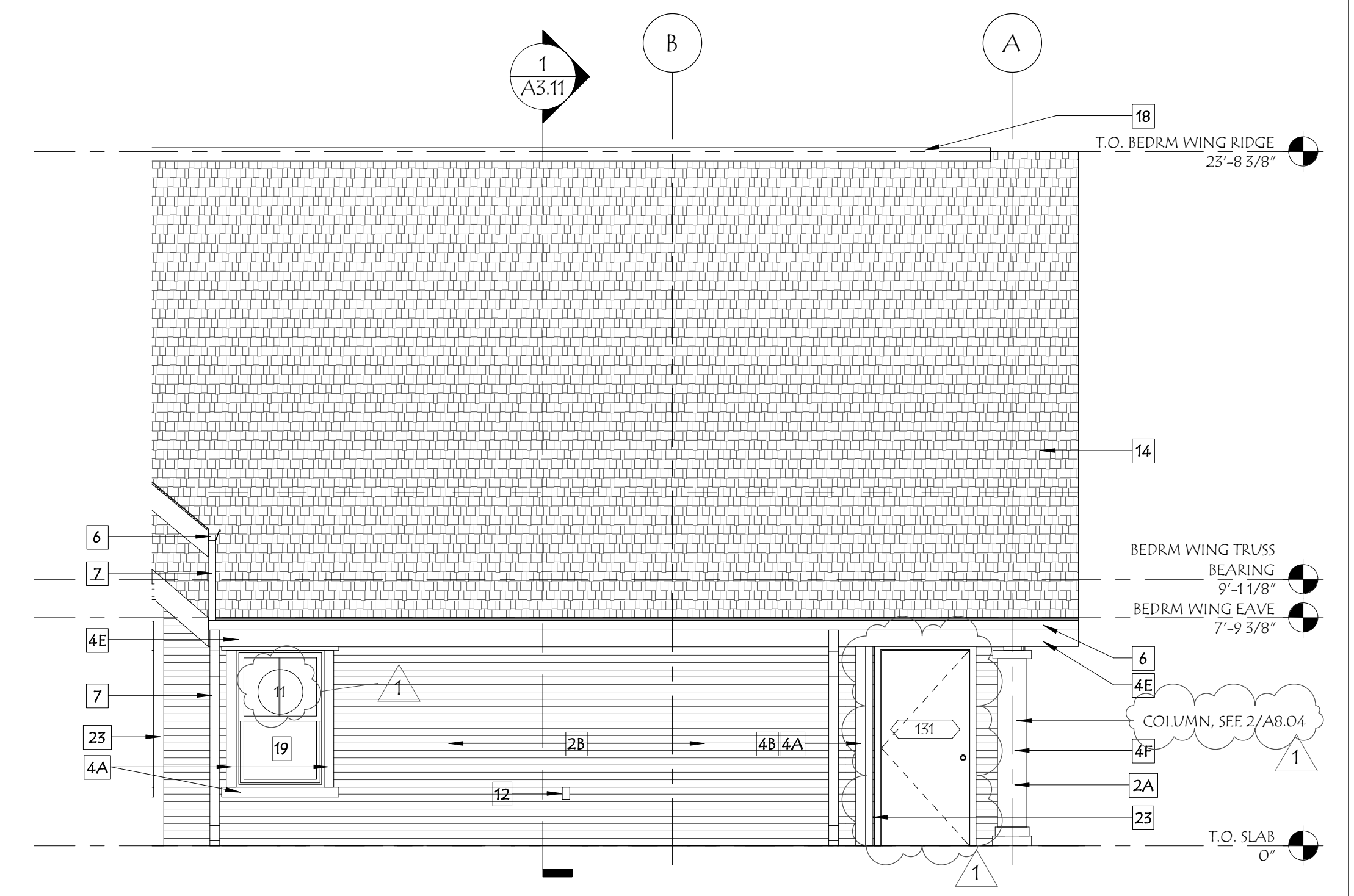
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**2 PARTIAL ELEV @ FRONT ENTRANCE**  
 1/4" = 1'-0"



**1 PARTIAL SIDE REAR ELEVATION**  
 1/4" = 1'-0"

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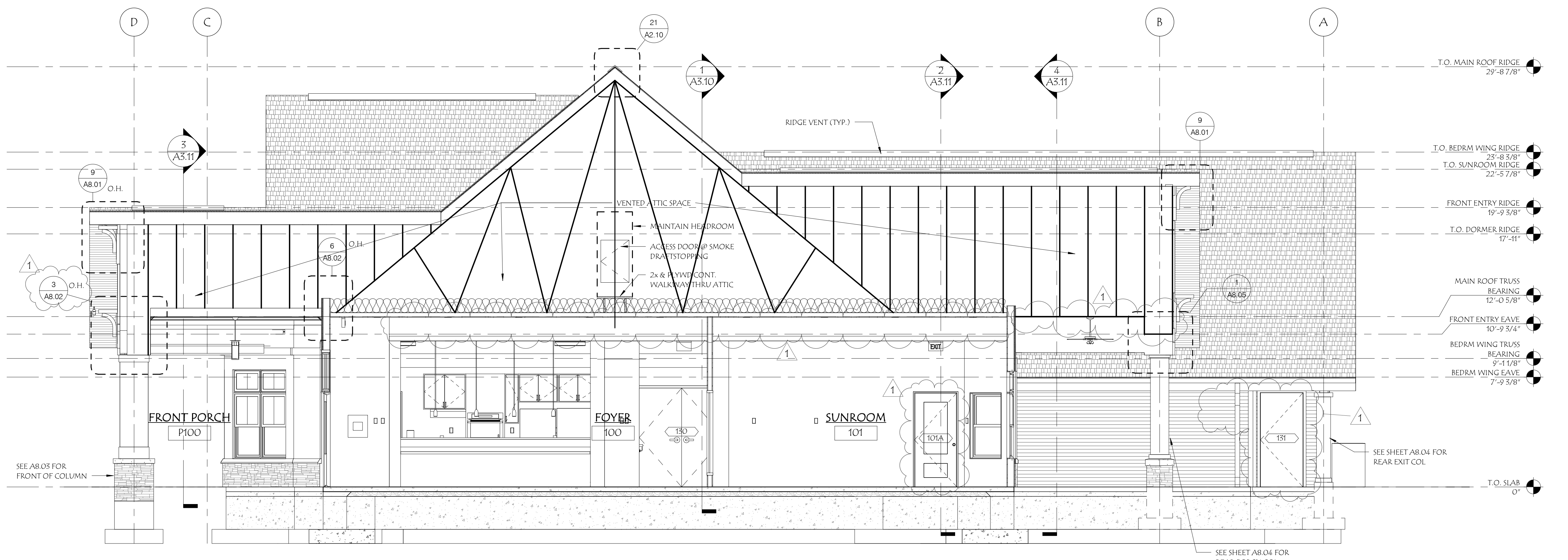
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PROJECT NUMBER:  
 18036.00  
**PARTIAL EXTERIOR ELEVATIONS**

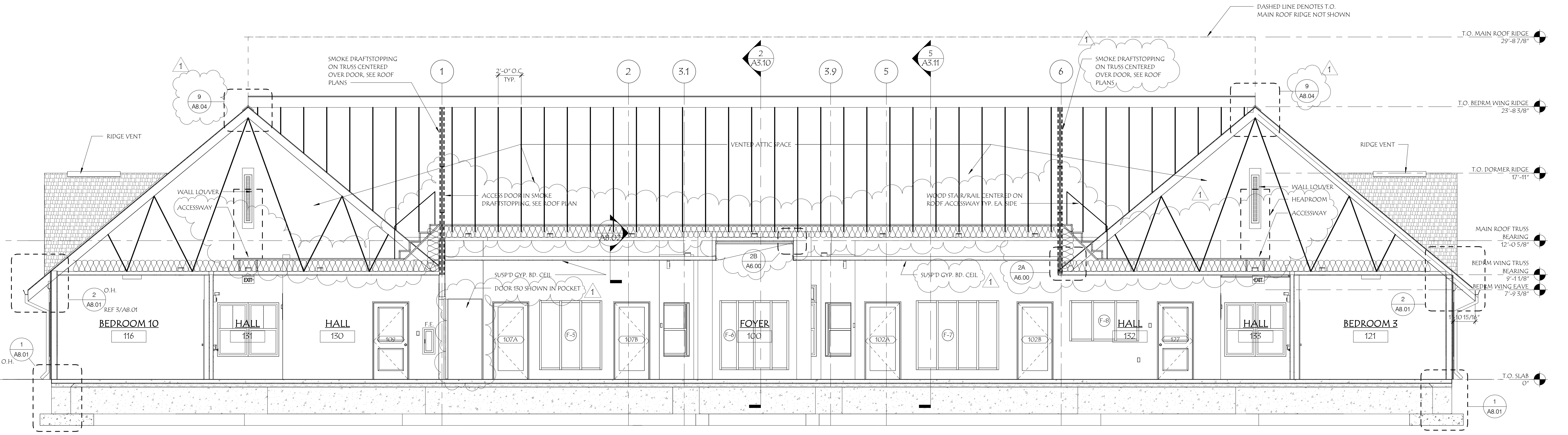
**A3.02**



- GENERAL WALL SECTION NOTES**
1. STUD FRAMING OR OTHER RESPONSIBLE CONTRACTORS PERFORMING THE WORK HAVE RESPONSIBILITY TO INSTALL ALL APPROVED FIRESTOPPING MATERIAL IN ACCORDANCE WITH THE IBC BUILDING CODE IN ALL CONCEALED WALL SPACES, CONNECTIONS BETWEEN HORIZONTAL AND VERTICAL SPACES, STAIRWAYS, CEILING AND FLOOR OPENINGS, ARCHITECTURAL TRIM, COMBUSTIBLE FINISH AND TRIM AND CONCEALED SLEEPER SPACES AS CONDITIONS MAY APPLY WHETHER SHOWN ON THE DRAWINGS OR NOT.
  2. A PRECONSTRUCTION CONFERENCE IS REQUIRED PRIOR TO INSTALLATION OF ALL EXPOSED CONDUITS, BOXES & DEVICES TO REVIEW ROUTING & LOCATIONS OF DEVICES IN CONJUNCTION WITH AREAS INDICATED TO HAVE AN EXPOSED STRUCTURE.
  3. WALL INSULATION WITHIN EXTERIOR WALLS TO BE OVERLAPPED 1'-0" MIN. VERTICALLY ABOVE THE ADJACENT ROOF DECK.
  4. WHETHER SHOWN ON THE DRAWINGS OR NOT, THE GENERAL CONTRACTOR HAS SOLE RESPONSIBILITY TO ENSURE THAT AN AIRTIGHT SEAL BETWEEN THE ENTIRE ROOF PERIMETER CONNECTION TO THE EXTERIOR WALL CONSTRUCTION, ANY OTHER ROOF PENETRATIONS, OR OTHER PARTIAL HEIGHT WALL CONSTRUCTION IS MAINTAINED, WHETHER HIS OWN FORCES OR ANY OF THE MULTIPLE SUBCONTRACTORS UNDER HIS CONTROL INVOLVED IN THIS PORTION OF THE WORK.
  5. BUILDING WRAP IS TO BE APPLIED OVER ALL EXTERIOR WALL SHEATHING WITH ANY OR ALL JOINTS OR PENETRATIONS TO BE SEALED AIRTIGHT PER MANUFACTURER'S INSTRUCTIONS.



**2 SECTION THROUGH FOYER**  
1/4" = 1'-0"



**1 SECTION THRU CORRIDOR AND COMMONS AREA**  
1/4" = 1'-0"

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NO. DESCRIPTION	1 ADDENDUM 1
PROJECT NUMBER:	18036.00

**BUILDING SECTIONS**

**A3.10**

6/13/2019 2:03:47 PM



- GENERAL WALL SECTION NOTES**
- 1 STUD FRAMING OR OTHER RESPONSIBLE CONTRACTORS PERFORMING THE WORK HAVE RESPONSIBILITY TO INSTALL ALL APPROVED FIRESTOPPING MATERIAL IN ACCORDANCE WITH THE IRC BUILDING CODE IN ALL CONCEALED WALL SPACES, CONNECTIONS BETWEEN HORIZONTAL AND VERTICAL SPACES, STAIRWAYS, CEILINGS AND FLOOR OPENINGS, ARCHITECTURAL TRIM, COMBUSTIBLE FINISH AND TRIM AND CONCEALED SLEEPER SPACES AS CONDITIONS MAY APPLY WHETHER SHOWN ON THE DRAWINGS OR NOT.
  - 2 A PRECONSTRUCTION CONFERENCE IS REQUIRED PRIOR TO INSTALLATION OF ALL EXPOSED CONDUITS, BOXES & DEVICES TO REVIEW ROUTING & LOCATIONS OF DEVICES IN CONJUNCTION WITH AREAS INDICATED TO HAVE AN EXPOSED STRUCTURE.
  - 3 WALL INSULATION WITHIN EXTERIOR WALLS TO BE OVERLAPPED 1'-0" MIN. VERTICALLY ABOVE THE ADJACENT ROOF DECK.
  - 4 WHETHER SHOWN ON THE DRAWINGS OR NOT, THE GENERAL CONTRACTOR HAS SOLE RESPONSIBILITY TO ENSURE THAT AN AIRTIGHT SEAL BETWEEN THE ENTIRE ROOF PERIMETER CONNECTION TO THE EXTERIOR WALL CONSTRUCTION, ANY OTHER ROOF PENETRATIONS, OR OTHER PARTIAL HEIGHT WALL CONSTRUCTION IS MAINTAINED, WHETHER HIS OWN FORCES OR ANY OF THE MULTIPLE SUBCONTRACTORS UNDER HIS CONTROL INVOLVED IN THIS PORTION OF THE WORK.
  - 5 BUILDING WRAP IS TO BE APPLIED OVER ALL EXTERIOR WALL SHEATHING WITH ANY OR ALL JOINTS OR PENETRATIONS TO BE SEALED AIRTIGHT PER MANUFACTURER'S INSTRUCTIONS.

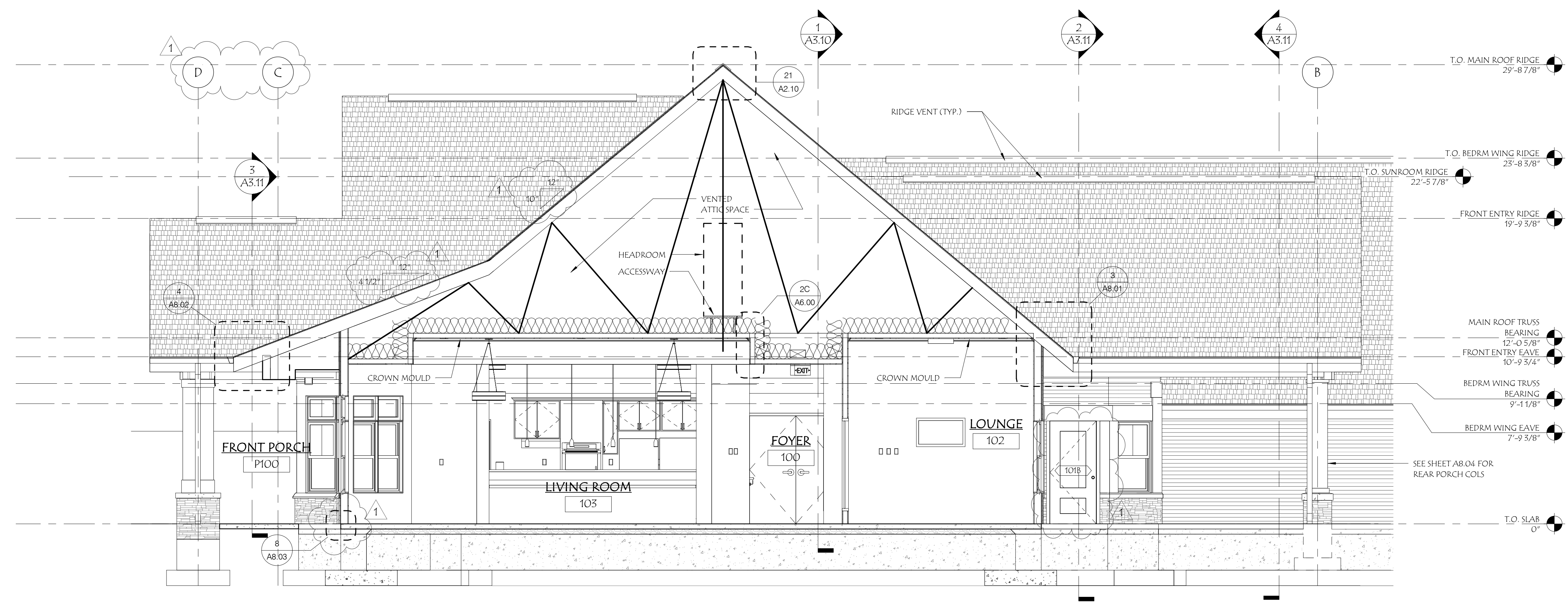
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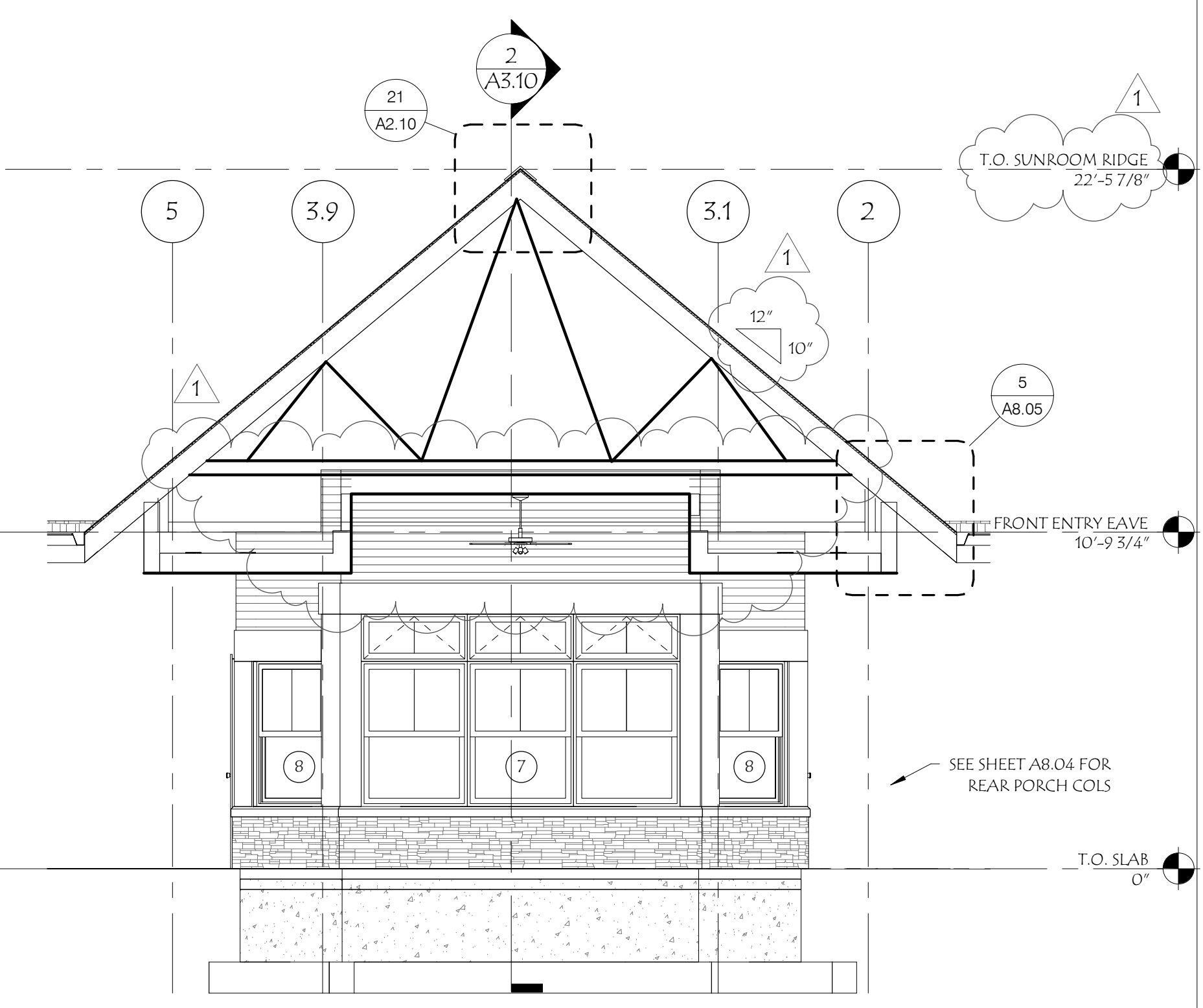
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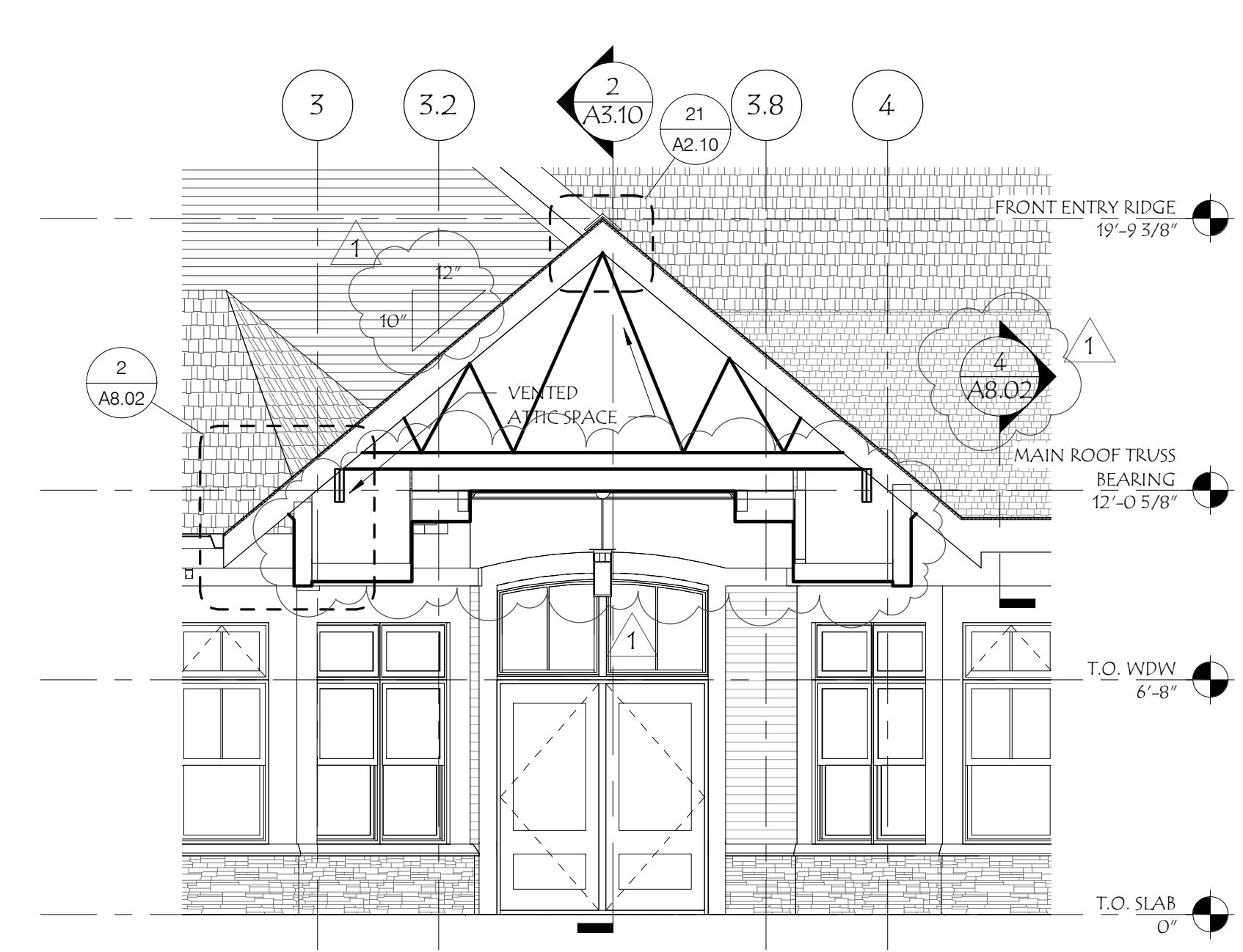
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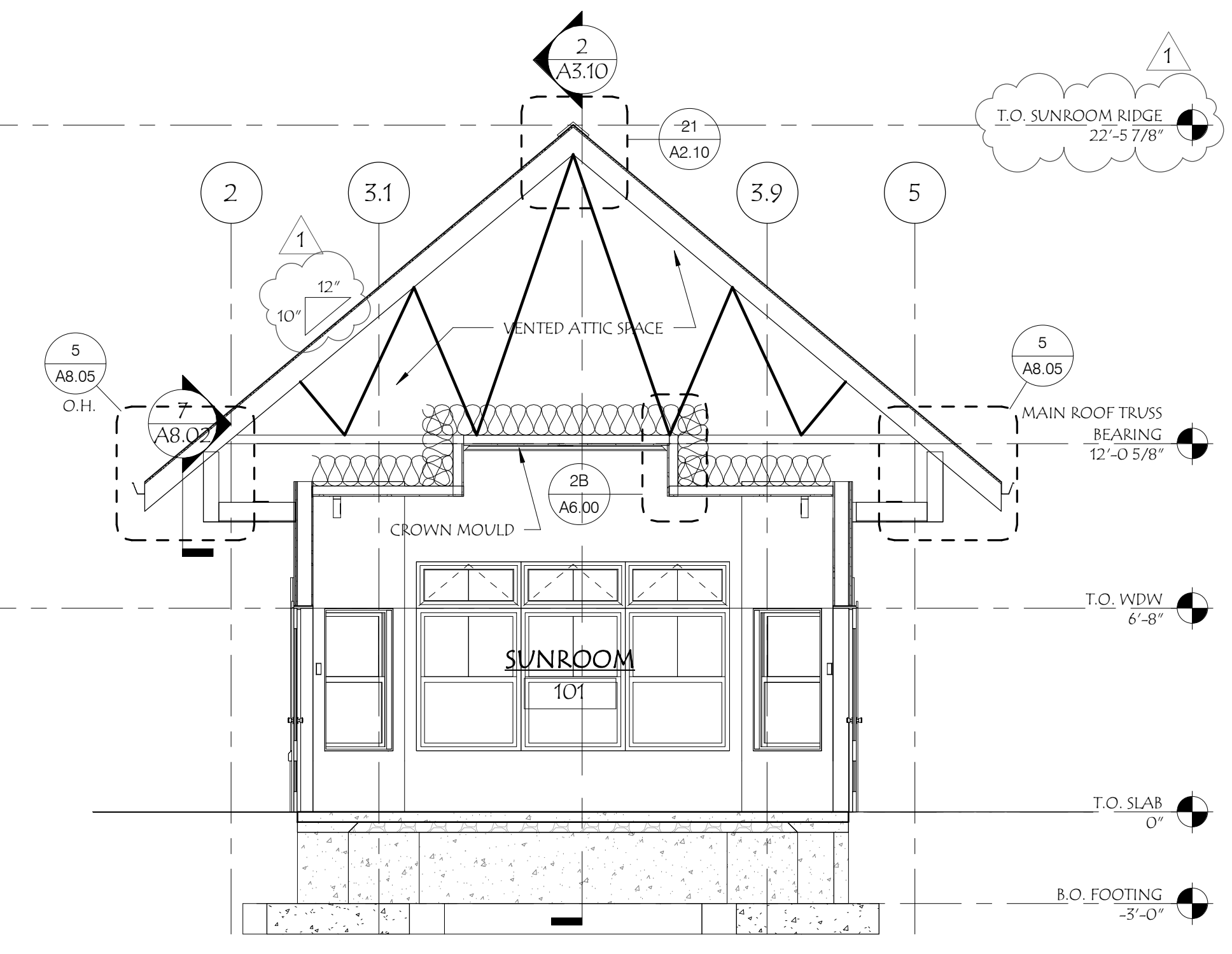
**5 BUILDING SECTION THRU LIVING ROOM & LOUNGE**  
 1/4" = 1'-0"



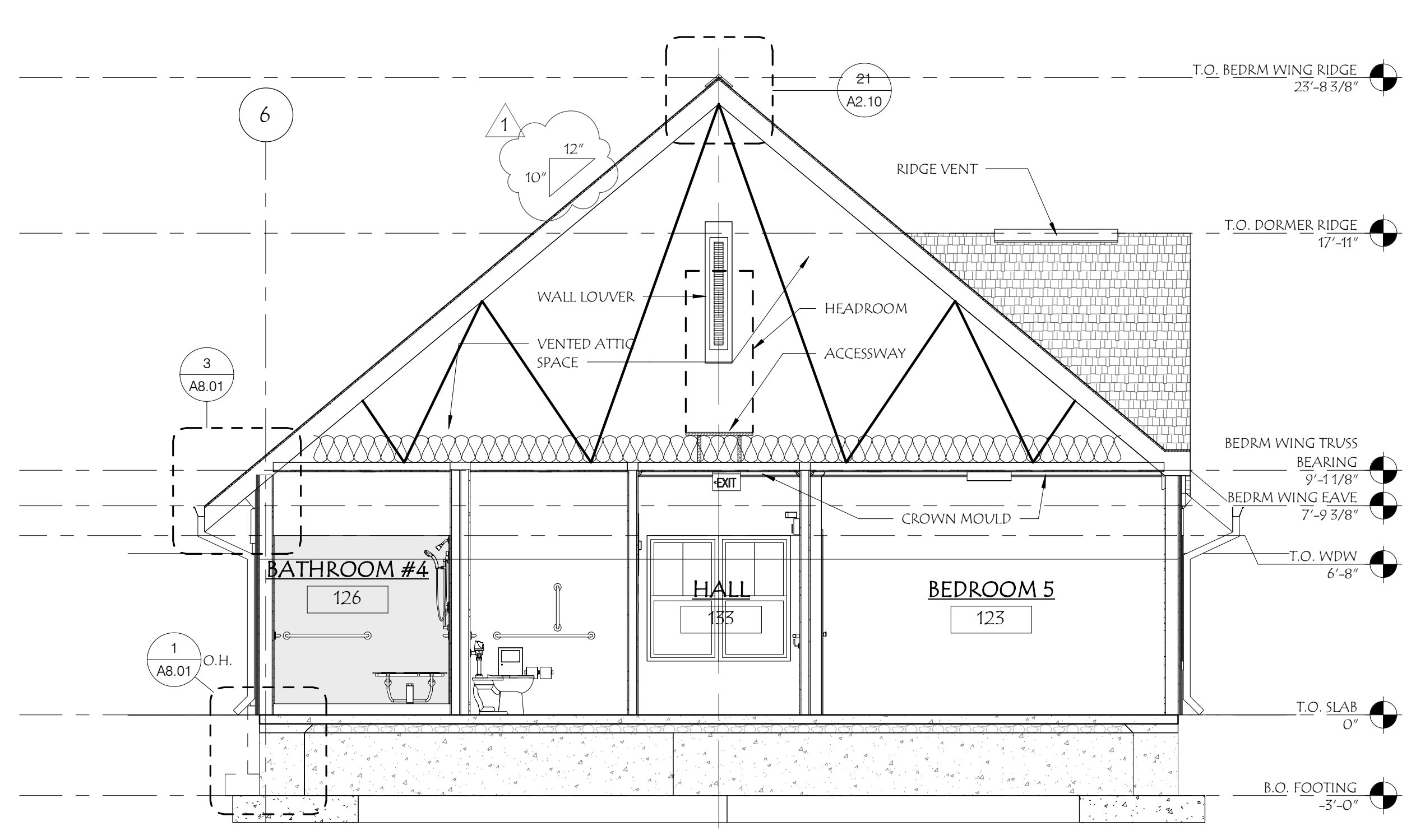
**4 SECTION THRU REAR PATIO**  
 1/4" = 1'-0"



**3 SECTION @ FRONT PORCH**  
 1/4" = 1'-0"



**2 SECTION THRU SUNROOM**  
 1/4" = 1'-0"



**1 SECTION THRU TYP. BEDROOM WING**  
 1/4" = 1'-0"



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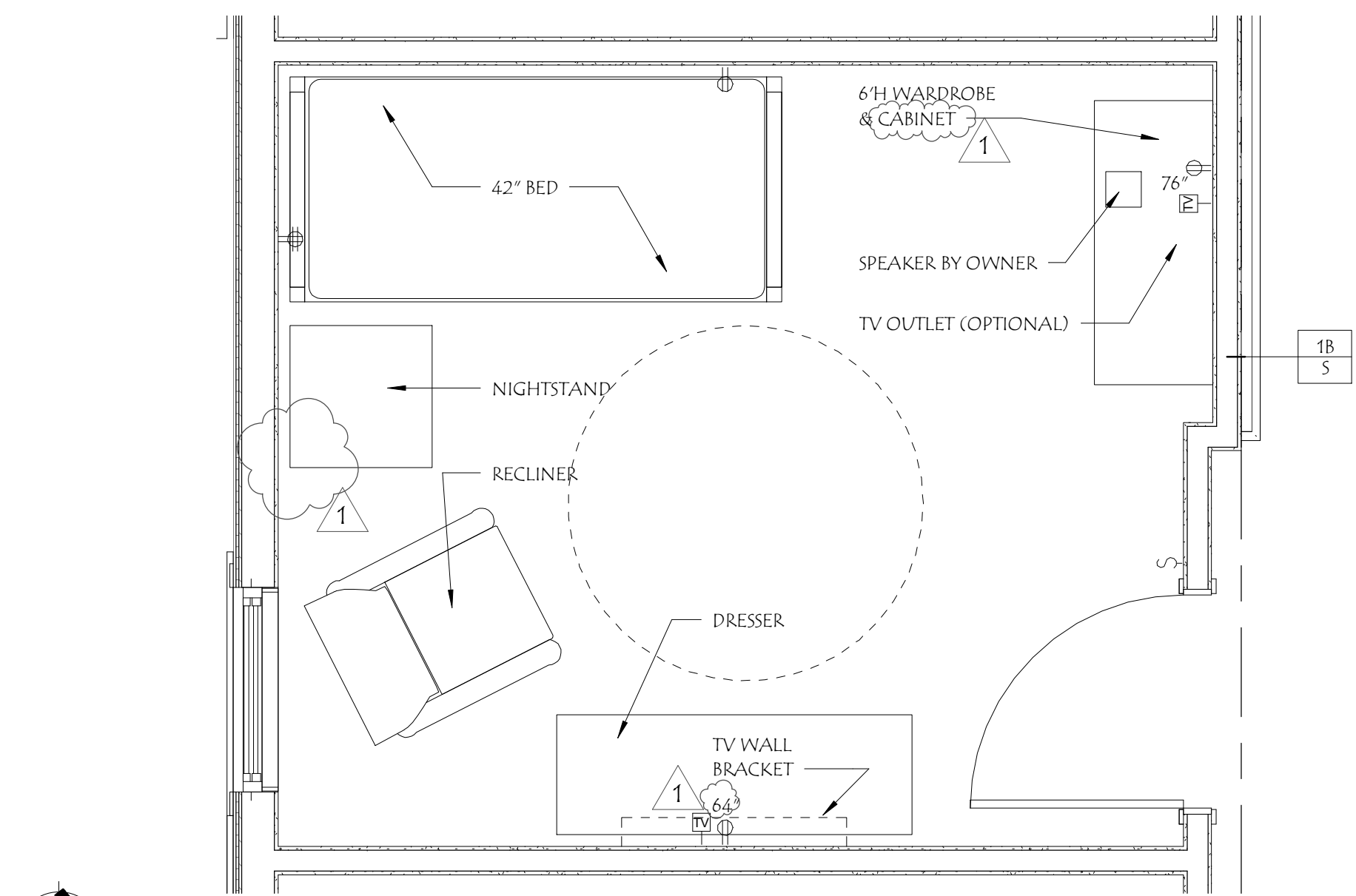
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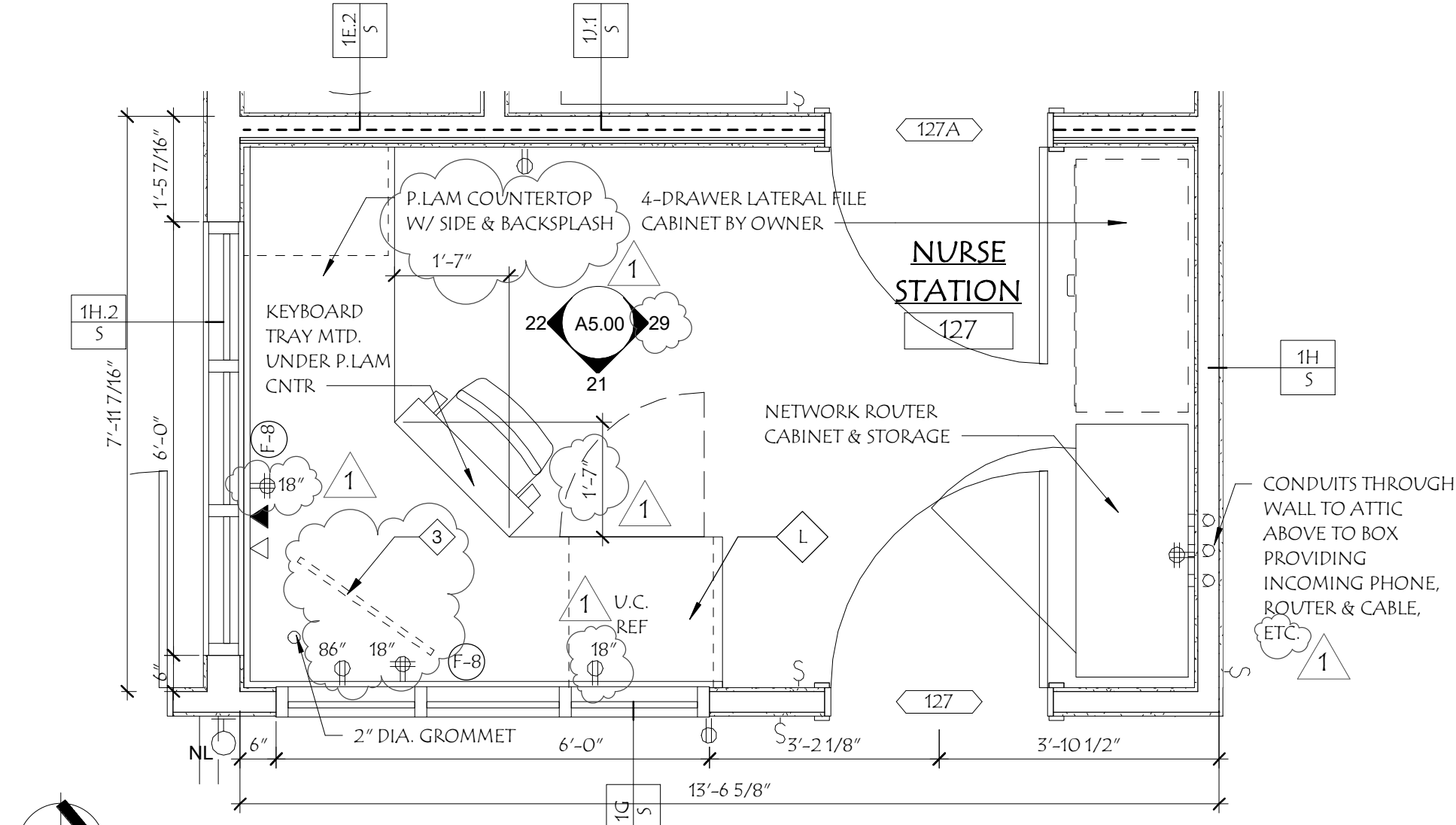
**BUILDING SECTIONS**

**A3.11**

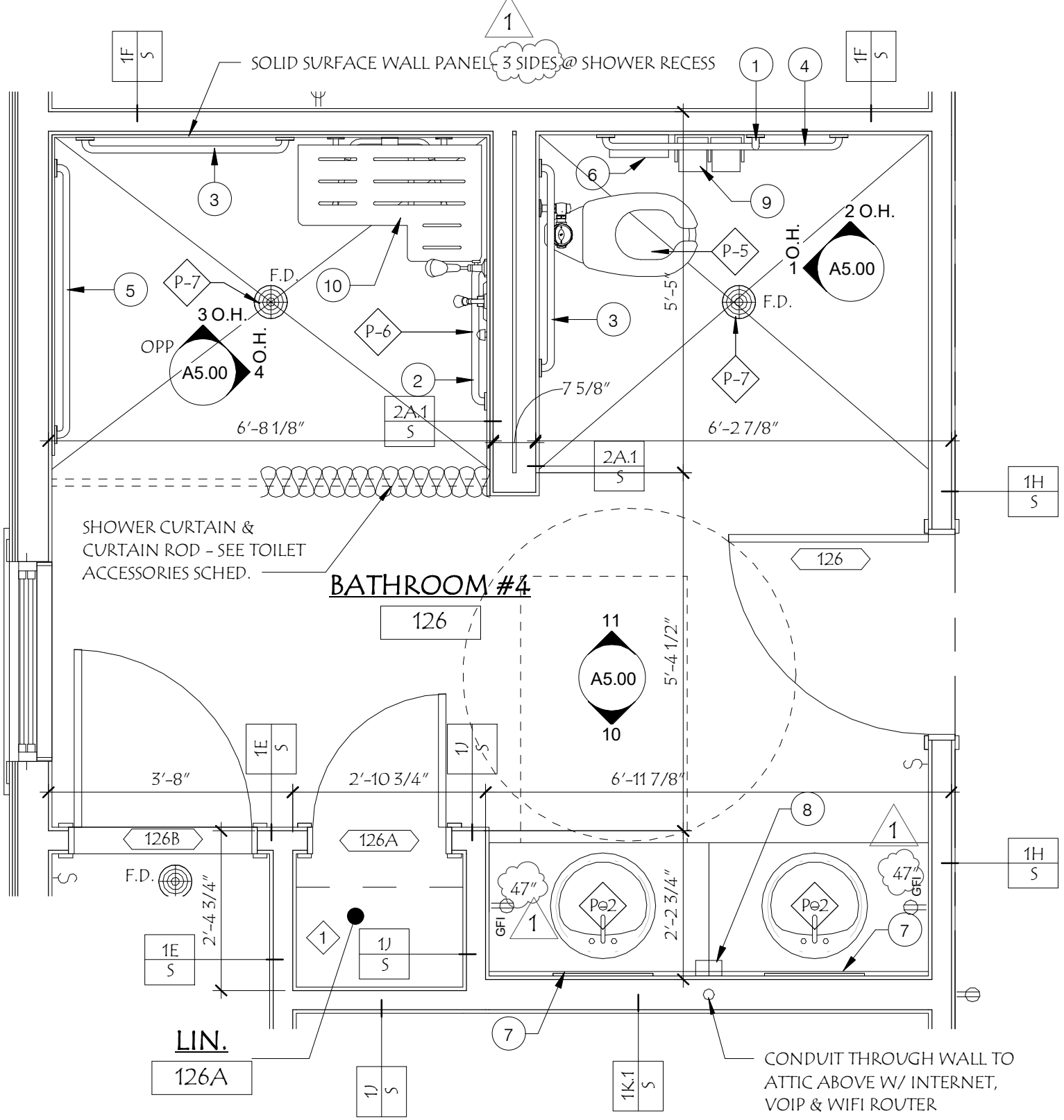




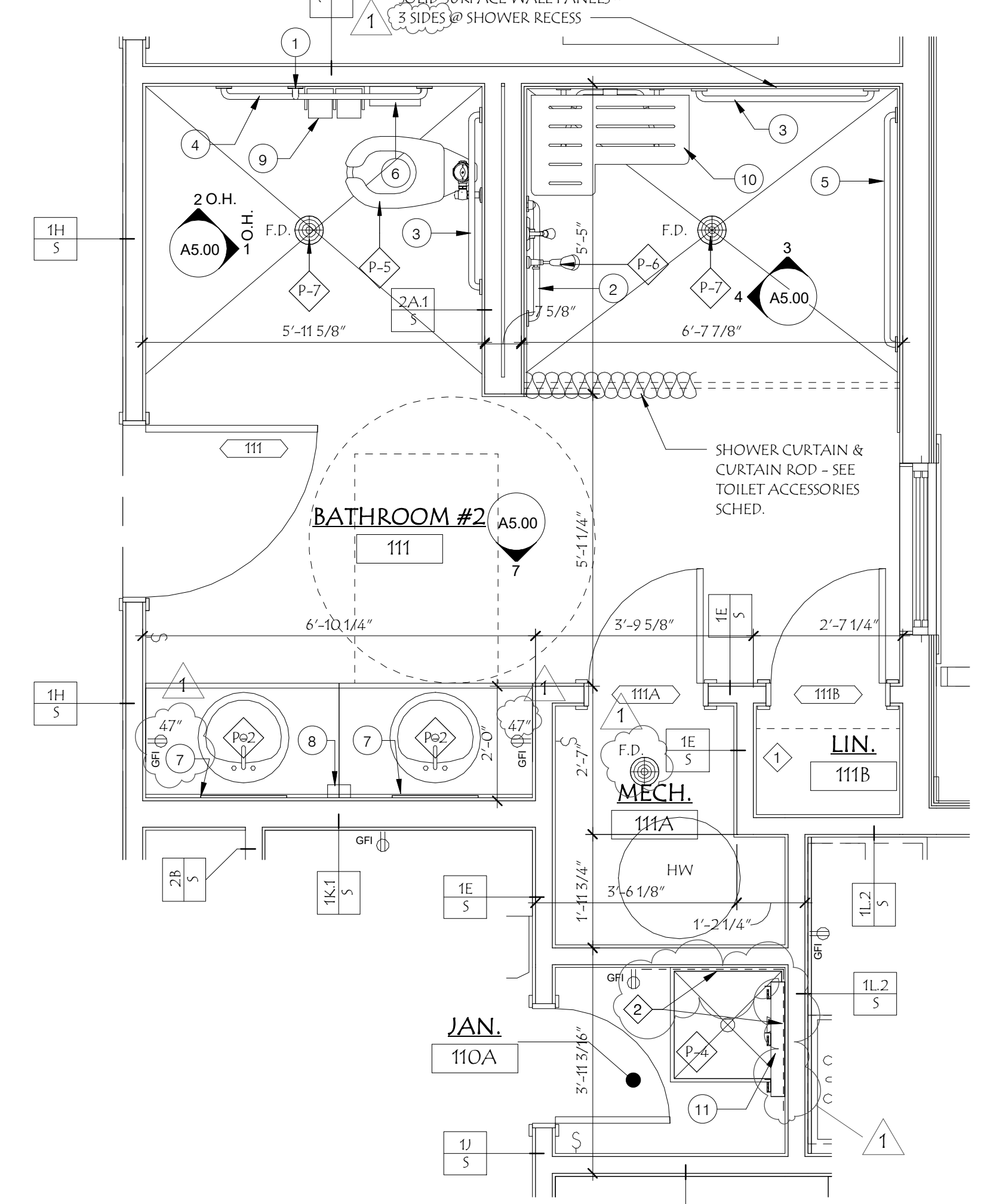
**7 TYPICAL BEDROOM LAYOUT**  
1/2" = 1'-0"



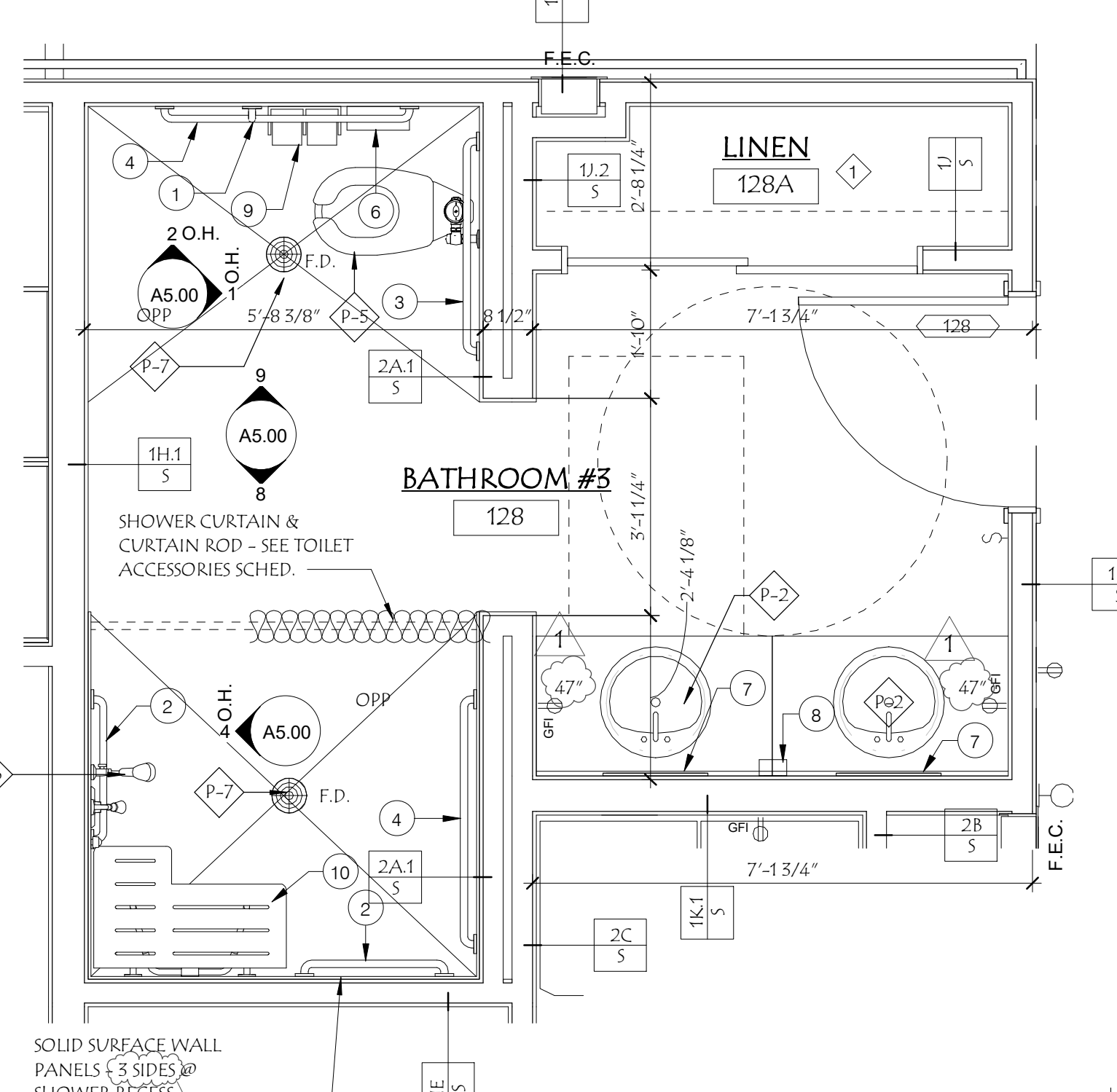
**4 NURSE STATION**  
1/2" = 1'-0"



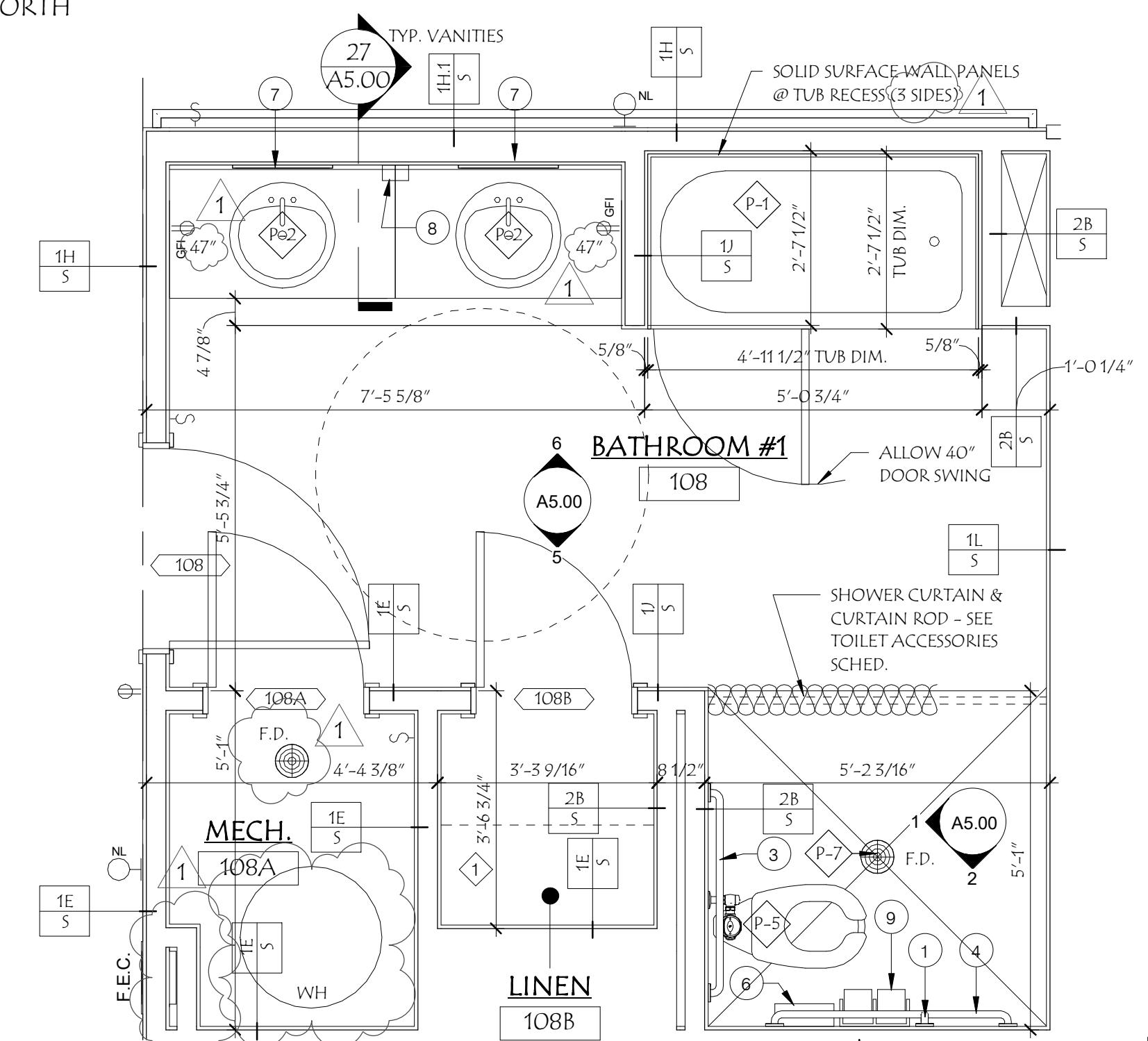
**6 ENLARGED BATHROOM 4**  
1/2" = 1'-0"



**3 ENLARGED BATHROOM 2 & JAN. 110A**  
1/2" = 1'-0"



**5 ENLARGED BATHROOM 3**  
1/2" = 1'-0"



**2 ENLARGED BATHROOM 1**  
1/2" = 1'-0"

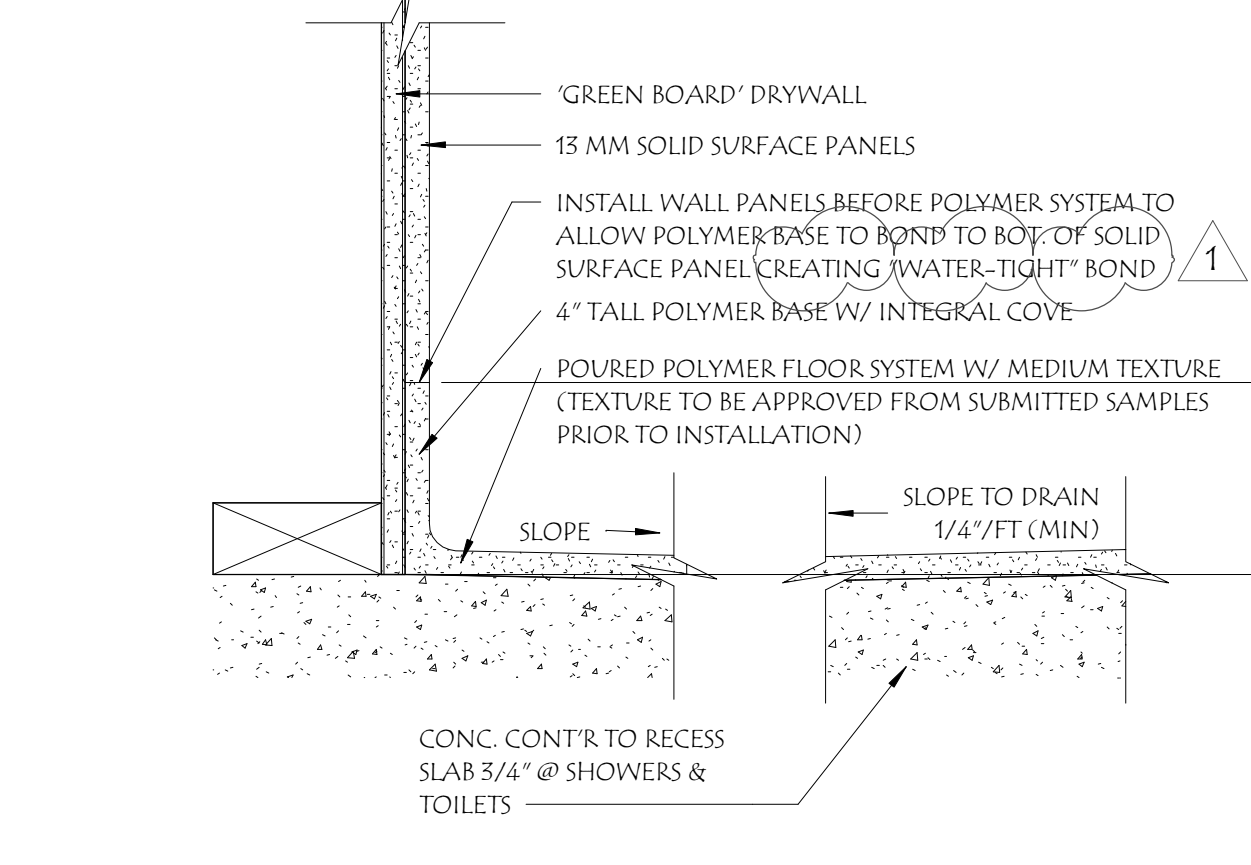
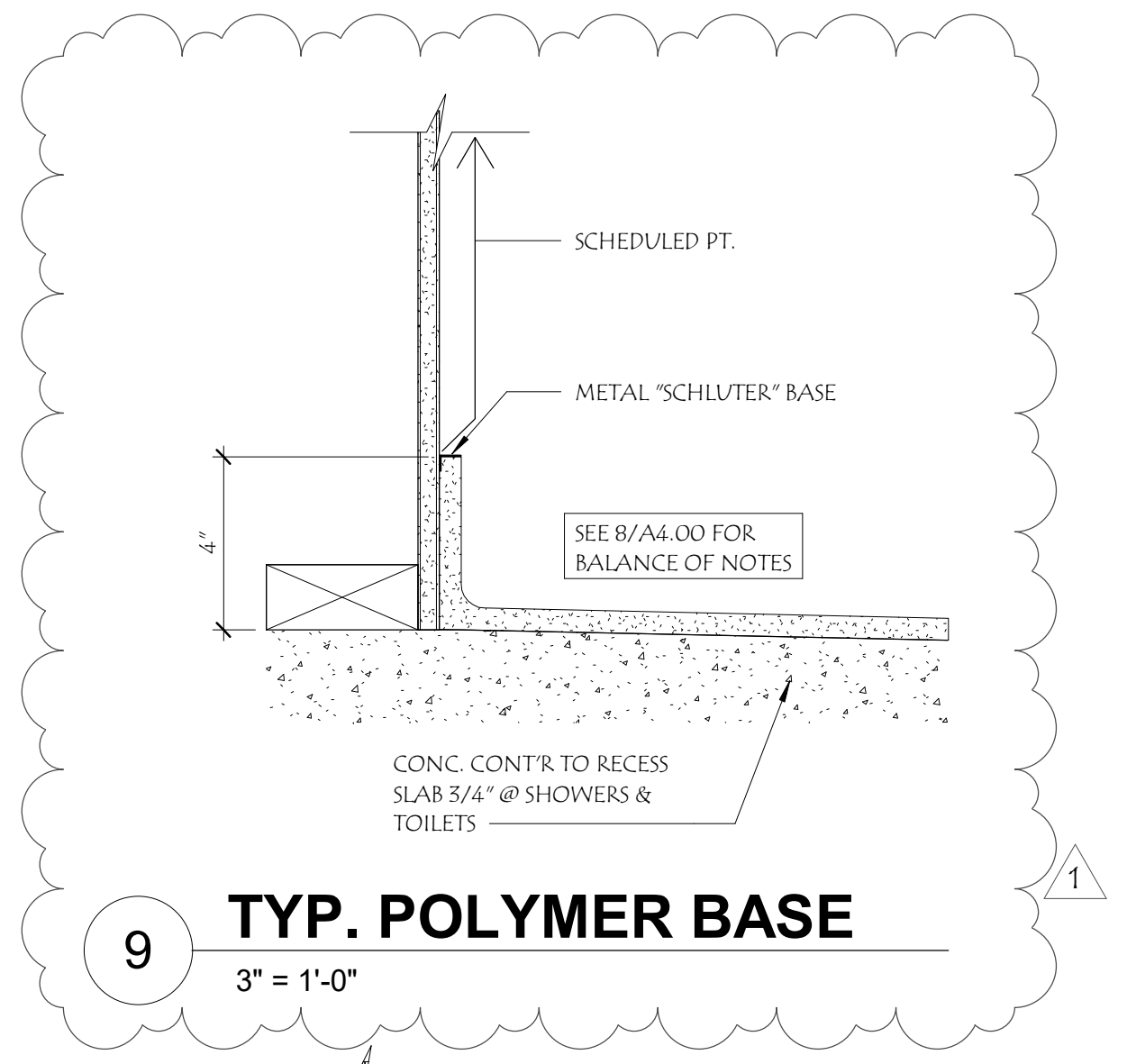
TOILET ACCESSORIES SCHEDULE			
TYPE MARK	DESCRIPTION	MANUFACTURER	MODEL
1	18" GRAB BAR	KOBRIK	B-5806x18
2	24" GRAB BAR	KOBRIK	B-5806x24
3	36" GRAB BAR	KOBRIK	B-5806x36
4	42" GRAB BAR	KOBRIK	B-5806x42
5	48" GRAB BAR	KOBRIK	B-5806x48
6	DISPOSAL, SANITARY NAPKIN, SS. SURFACE MOUNTED	KOBRIK	B-270
7	18" x 30" FRAMELESS MIRROR	KOBRIK	B-1556
8	DISPENSER, SOAP, DISPOSABLE	KOBRIK	B-2111
9	DISPENSER, TOILET TISSUE, SS, 2-ROLL, SURFACE MTD.	KOBRIK	B-4867
10	ADA SHOWER SEAT	KOBRIK	B-5187
11	MOP AND BROOM HOLDER, SURFACE MTD.	KOBRIK	B-225 x 24
12	ADJUSTABLE SHOWER CURTAIN ROD	TBD	TBD
13	CURTAIN	TBD	TBD

APPLIANCE SCHEDULE			
TYPE MARK	DESCRIPTION	MANUFACT.	MODEL
A1	REFRIGERATOR	WHIRLPOOL	WRS57K18DM
A2	FREEZER	WHIRLPOOL	WSZ2518DM
B	SURFACE COOKTOP	GE	P19P936D18B
C	80" DOUBLE WALL OVEN	KITCHENAID	KODRES0055
D	DISHWASHER W/ HD GRINDER	MAYTAG	MDR8995HZ
E	15" U/C ICE MAKER WITH/WITHOUT DRAIN PUMP	KITCHENAID	(WITH) KU1X35555 / (WITHOUT) KU1X35555
F	UPRIGHT FREEZER	WHIRLPOOL	WZF54X18DW
G	FRONT LOAD WASHER	WHIRLPOOL	WFW6620HW
H	FRONT LOAD GAS DRYER	WHIRLPOOL	WFG6620HW
J	30" WARMING DRAWER	KITCHENAID	KDWT0055
K	36" VENTLESS HOOD	WHIRLPOOL	LXT3258D5
L	UNDERCOUNTER REFRIGERATOR	GE	GCFC0GSH5

PLUMBING FIXTURE SCHEDULE			
TAG	DESCRIPTION	MANUFACTURER	MODEL
P-1	ADA TUB / SHOWER	INVACARE	5752G
P-2	VANITY SINK	GERBER	LUXAOVAL 12-780
P-3	UTILITY SINK	PRO FLO	PFLT2522D
P-4	MOP SINK	FIAT	MSHD2424
P-5	ADA TOILET	GERBER	MAXWELL 60HEIGHT 21-918
P-6	ADA SHOWER HEAD & CONTROLS	DELTA	INNOVATIONS MONITOR 17
P-7	FLOOR DRAIN	KOHLER	K-9136
P-8	DOUBLE SINK	ELKAY	DXUH210Y0RFD
P-9	SINGLE SINK	ELKAY	ECLRS1079R1C
P-10	GARBAGE DISPOSAL	INSINKERATOR/EMERS	EVOLUTION PRO 880LT ON

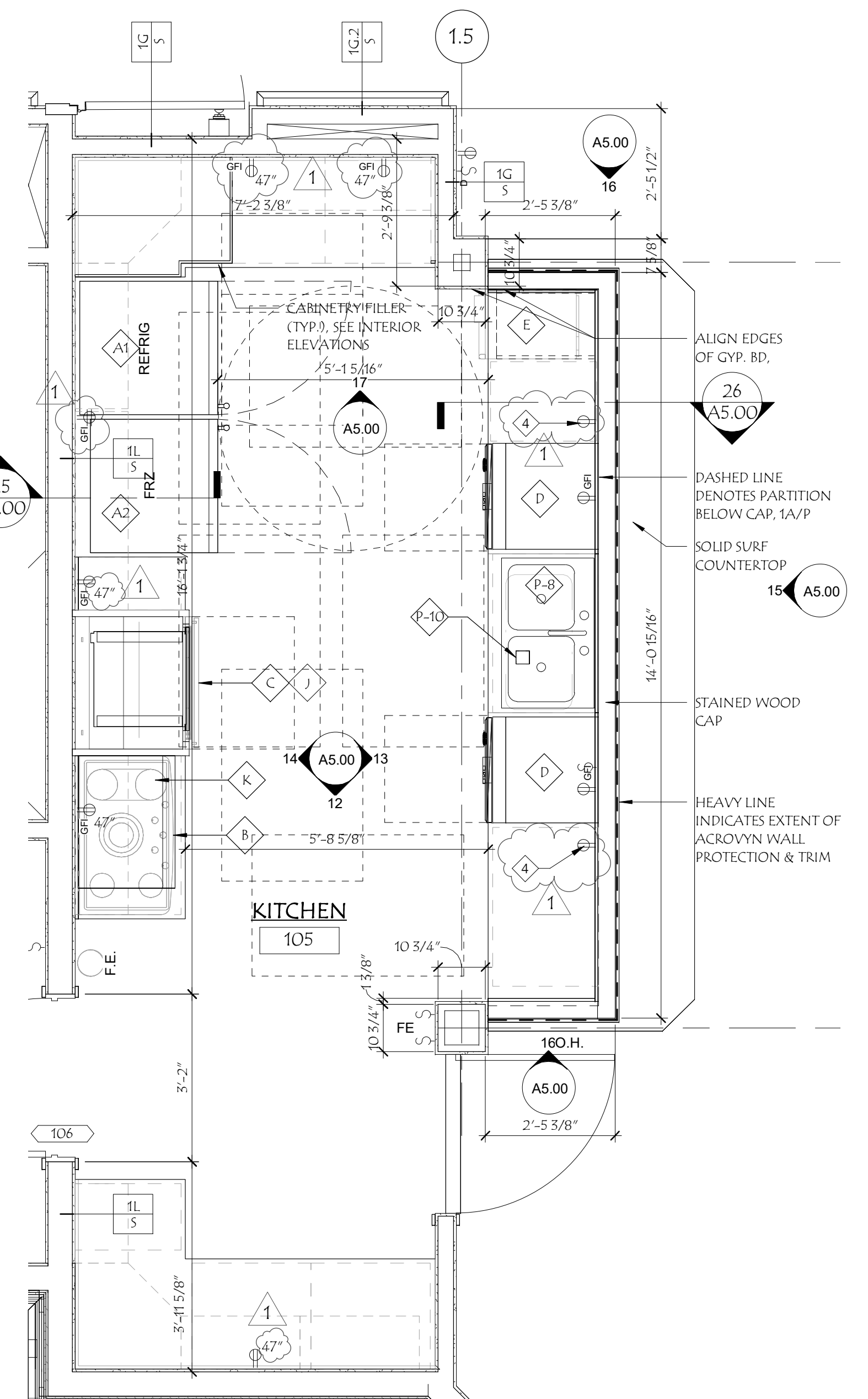
MEDICAL EQUIPMENT SCHEDULE				
TAG	DESCRIPTION	MANUFACTURER	SIZE (WIDTH x HEIGHT)	REMARKS
MED-1	PATIENT LIFT	TBD	42.5" x 73"	PROVIDE OUTLET FOR POWER, OWNER TO PROVIDE
MED-2	STORAGE CART	TBD	57.5" x 48"	OWNER TO PROVIDE

KEYED ENLARGED PLAN NOTES	
NO.	DESCRIPTION
1	18" DP WIRE COATED SHELVING ON H/D KNAP & VOGT STANDARDS - (S) ROWS VERT
2	36" H S.S. SKIRTING
3	SECURITY MONITOR ON ADJUSTABLE TILTING BRACKET ABOVE WINDOW
4	OUTLETS TURNED HORIZONTAL MOUNT IN COUNTER BACKSPLASH 90° A.F.F.



**8 POLYMER FLOOR DETAIL**  
3" = 1'-0"

PLAN NORTH ARROWS ADDED FOR ENLARGED PLANS



**1 ENLARGED KITCHEN PLAN**  
1/2" = 1'-0"

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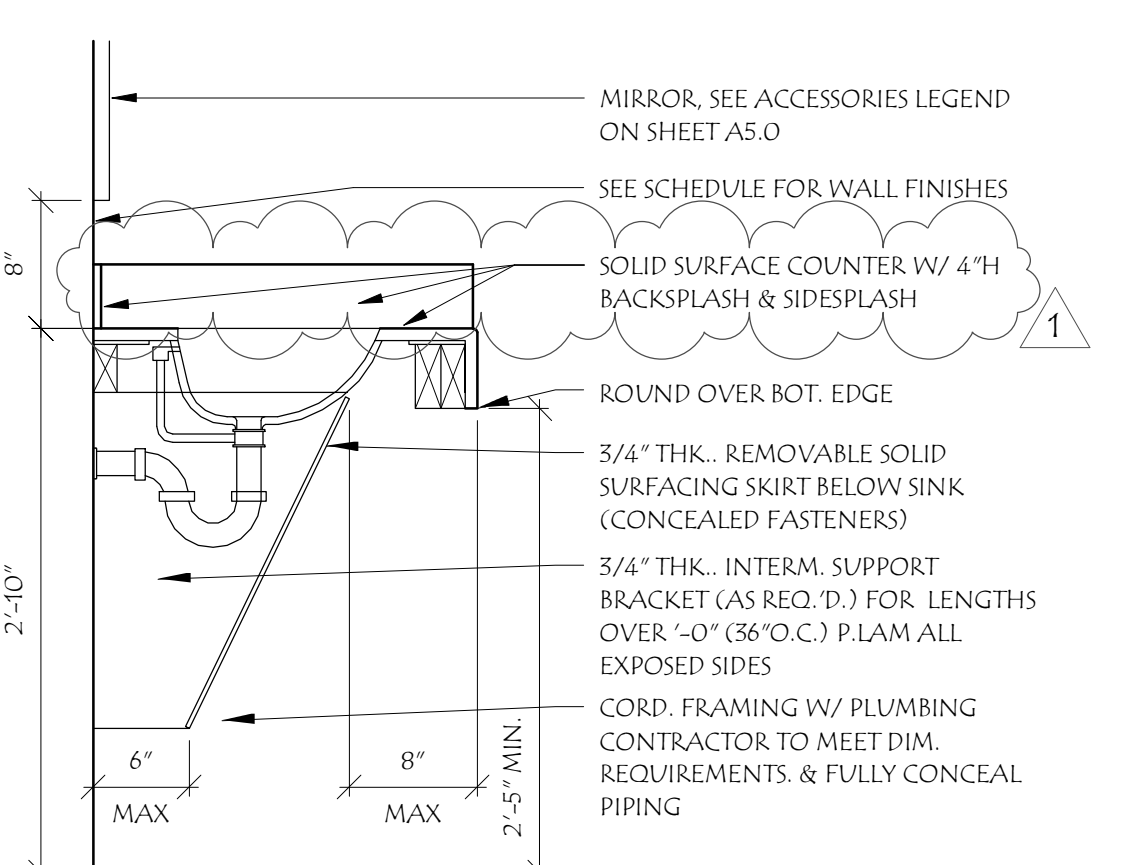
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1	ADDENDUM 1	06/17/19

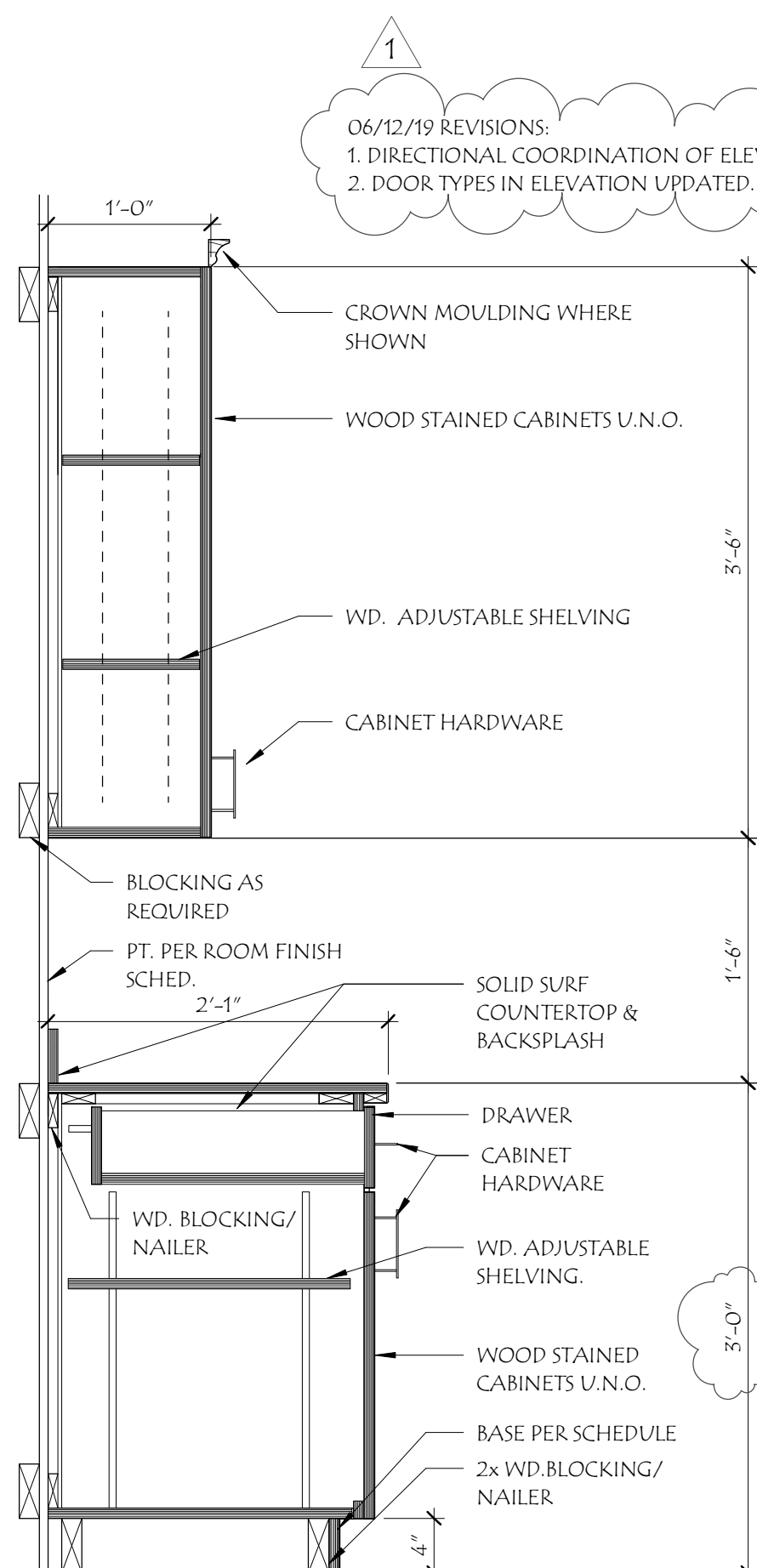
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**ENLARGED FLOOR PLANS**

**A4.00**

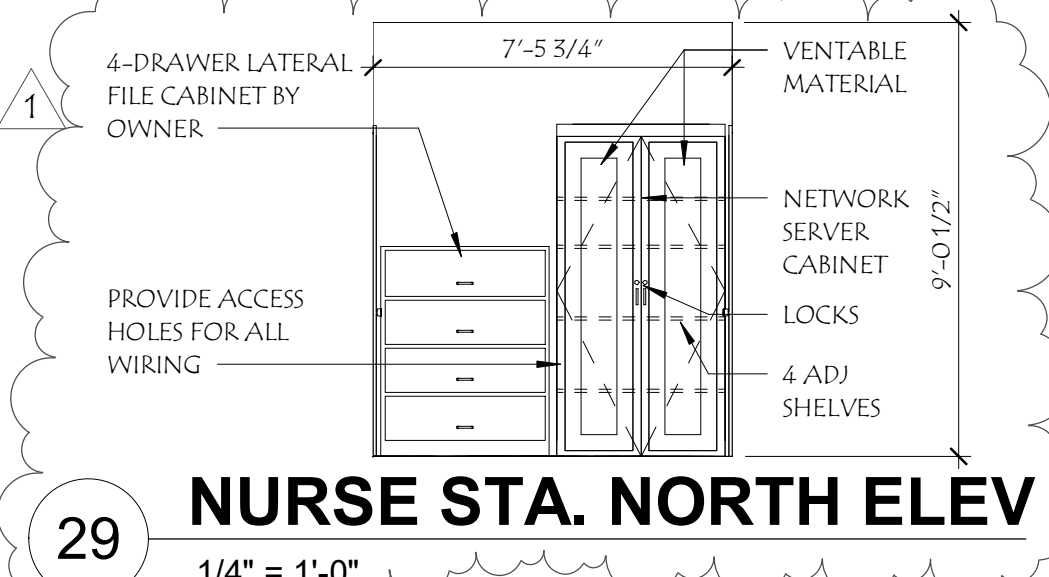




**27 SHOWER ROOM VANITY SECTION**  
1" = 1'-0"



**24 LAUNDRY ROOM ELEV.**  
1/4" = 1'-0"



**29 NURSE STA. NORTH ELEV**  
1/4" = 1'-0"

**23 LAUNDRY ROOM CSWK**  
1/4" = 1'-0"

**22 NURSE STA. SOUTH ELEV.**  
1/4" = 1'-0"

**21 NURSE STA. EAST ELEV.**  
1/4" = 1'-0"

**GENERAL CASEWORK NOTES**

- ALL EXPOSED CABINERY RETURNS PRIMARILY NOT AGAINST ADJACENT WALLS ARE TO BE FINISHED WITH LAMINATE MATCHING THE CABINERY FRONT SURFACE WHERE APPLICABLE.
- ALL METAL FINISHES ON ANY HARDWARE TO MATCH SCHEDULED DOOR HARDWARE.
- ALL CABINERY DOOR AND DRAWER EDGES TO HAVE 5MM EDGING MATCHING THE LAMINATE ON THE SURFACE WHERE APPLICABLE.
- ALL COUNTERS WITH SINKS OR PLUMBING TO HAVE A POST-FORMED EDGE WHERE APPLICABLE.
- ALL COUNTERS TO HAVE 1/4" HIGH BACK SPLASH AND SIDE SPLASH ALONG ADJACENT WALLS. CAULK BACK SPLASH TO WALL SEALING ANY/ALL CRACKS.
- SEE FINISH MATERIAL LEGEND FOR ALL LAMINATE TO BE USED.
- INSTALL BASE MATERIAL SCHEDULED IN THE ROOM WHERE THE CABINERY IS LOCATED ON ALL FRONT, SIDES AND BACKS OF ALL CABINERY.
- ALL EPOXY SINKS ARE MOUNTED UNDER-COUNTER.

**TOILET ACCESSORIES SCHEDULE**

TYPE MARK	DESCRIPTION	MANUFACTURER	MODEL
1	18" GRAB BAR	ROBRICK	8-5806x18
2	24" GRAB BAR	ROBRICK	8-5806x24
3	36" GRAB BAR	ROBRICK	8-5806x36
4	42" GRAB BAR	ROBRICK	8-5806x42
5	48" GRAB BAR	ROBRICK	8-5806x48
6	DISPOSAL, SANITARY NAPKIN, SS, SURFACE MOUNTED	ROBRICK	8-270
7	18" x 30" FRAMELESS MIRROR	ROBRICK	8-1556
8	DISPENSER, SOAP, DISPOSABLE	ROBRICK	8-2111
9	DISPENSER, TOILET TISSUE, SS, 2-ROLL, SURFACE MTD.	ROBRICK	8-6867
10	ADA SHOWER SEAT	ROBRICK	8-5181
11	MOP AND BROOM HOLDER, SURFACE MTD.	ROBRICK	8-225 x 24
12	ADJUSTABLE SHOWER CURTAIN ROD	TBD	TBD
13	CURTAIN	TBD	TBD

**APPLIANCE SCHEDULE**

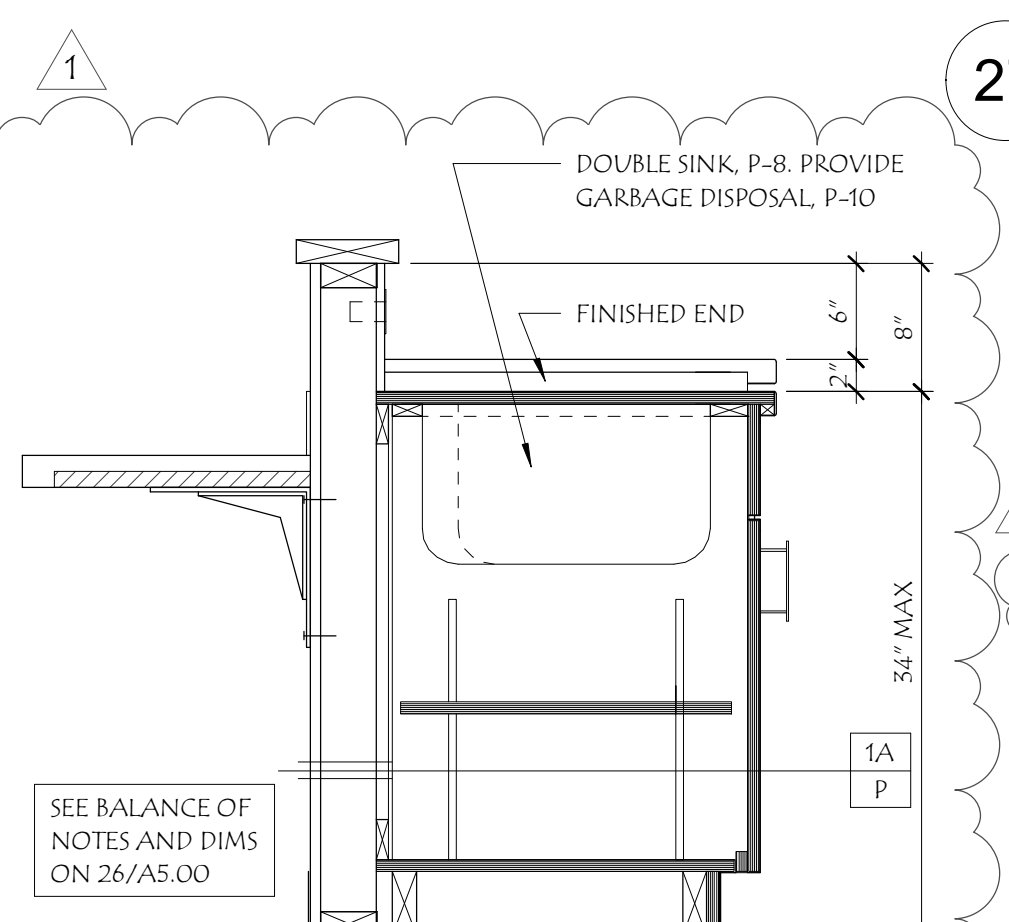
TYPE MARK	DESCRIPTION	MANUFACT.	MODEL
A1	REFRIGERATOR	WHIRLPOOL	WRS57K38DM
A2	FREEZER	WHIRLPOOL	WFS2118DM
B	SURFACE COOKTOP	GE	PH9036D188
C	30" DOUBLE WALL OVEN	KITCHENAID	KODE3005SS
D	DISHWASHER W/ HD GRINDER	MAYTAG	M189899SHZ
E	15" 1/2" ICE MAKER WITH/WITHOUT DRAIN	KITCHENAID	(WITH) KUJ33555S / (WITH/OUT) KUJ3555S
F	UPRIGHT FREEZER	WHIRLPOOL	WZFX5X18DDW
G	FRONT LOAD WASHER	WHIRLPOOL	WFW6620HW
H	FRONT LOAD GAS DRYER	WHIRLPOOL	WGD6620HW
J	30" WARMING DRAWER	KITCHENAID	KOWT1005S
K	36" VENTLESS HOOD	WHIRLPOOL	UX15258BD5
L	UNDERCOUNTER REFRIGERATOR	GE	GCE06G1H8

**PLUMBING FIXTURE SCHEDULE**

TAG	DESCRIPTION	MANUFACTURER	MODEL
P-1	ADA TUB / SHOWER	INVACARE	5752G
P-2	VANITY SINK	GERBER	LUNOVAL 12-780
P-3	UTILITY SINK	PRO FLO	PF12522D
P-4	MOP SINK	FLAT	M58H2424
P-5	ADA TOILET	GERBER	MAXWELL EROHHEIGHT 21-918
P-6	ADA SHOWER HEAD & CONTROLS	DELTA	INNOVATIONS MONITOR 17
P-7	FLOOR DRAIN	KOHLER	K-9156
P-8	DOUBLE SINK	ELKAY	DXLH92020RDF
P-9	SINGLE SINK	ELKAY	ECLR18079RTC
P-10	GARBAGE DISPOSAL	INSINKERATOR/EMERS ON	EVOLUTION PRO 880LT ON

**KEYED CASEWORK/INTERIOR NOTES**

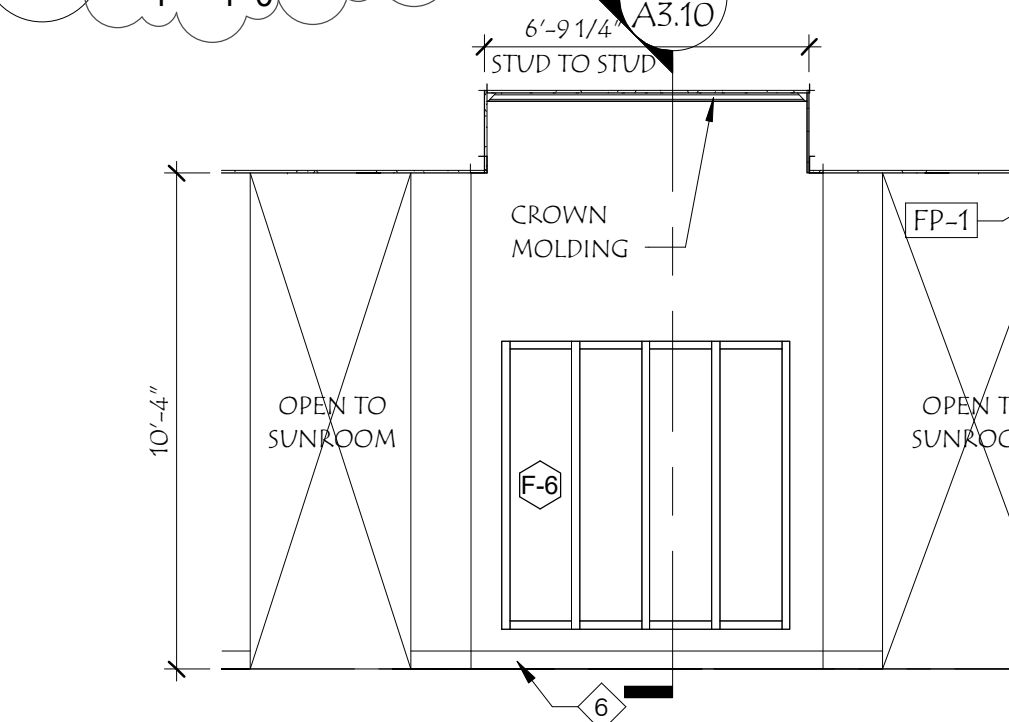
- EPOXY BASE, SEE SCHED.
- SOLID SURFACE PANELS ON ALL SIDES OF SHOWER COMPARTMENT & TUB
- SOLID SURF COUNTERTOP WITH BACKSPLASH/SIDESPLASH WHERE REQ'D
- PTD. WALL PER SCHED.
- WOOD STAINED CABINETS
- BASE PER SCHED.
- ACROVYN WALL PROTECTION & TRIM
- STAINED WOOD CAP
- 1" SHIM
- PRE-FAB GAS FIREPLACE W/ GLASS DOORS
- STONE FACING
- WOOD MANTEL 6' LONG, ANCHOR TO STUDS BEHIND STONE FACING
- FLAT PANEL TV BY OWNER, PROVIDE POWER, DATA, WALL BLOCKING & SUPPORT/MOUNTING BRACKET PER OWNER DIRECTION
- 3/4" THK, 12"D WOOD FIXED SHELF
- 3/4" THK, 12"D WOOD ADJ. SHELVES (TYP.)
- CONDUIT THROUGH WALL TO ATTIC ABOVE TO QUAD OUTLET PROVIDING POWER, CABLE & ROUTER
- EMPTY CONDUIT THROUGH WALL FROM QUAD OUTLET TO CABLE & POWER
- PLAM CABINETS & COUNTERTOP



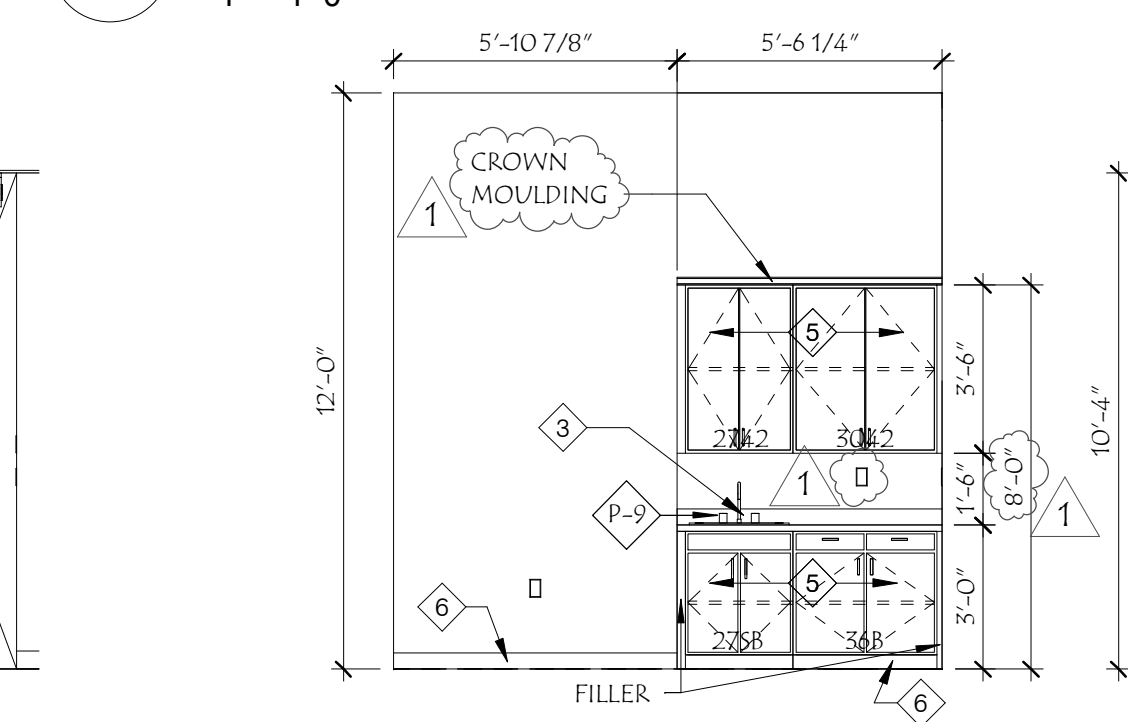
**28 SECTION @ ADA KIT CNTR**  
1" = 1'-0"

**26 SECTION @ KITCHEN ISLAND**  
1" = 1'-0"

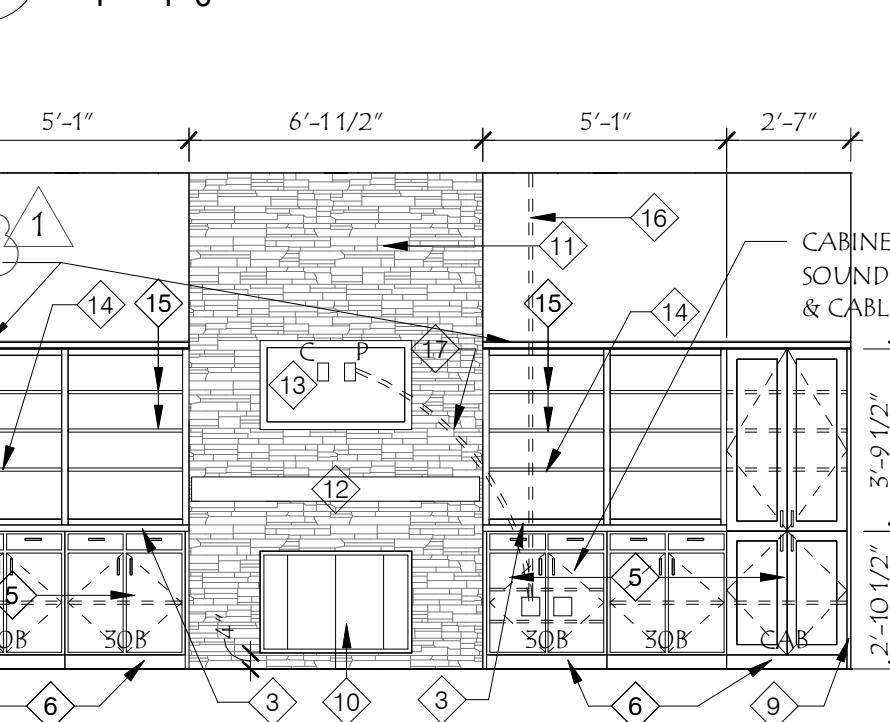
**25 BASE & WALL CAB. DTL.**  
1" = 1'-0"



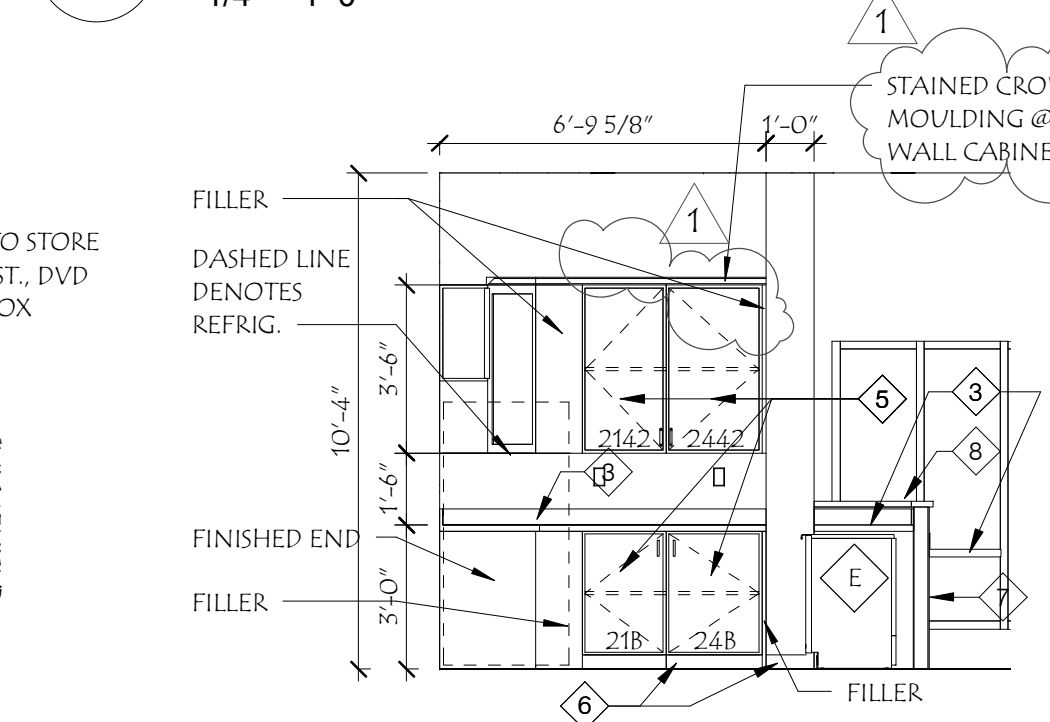
**20 ENTRY WALL ELEV**  
1/4" = 1'-0"



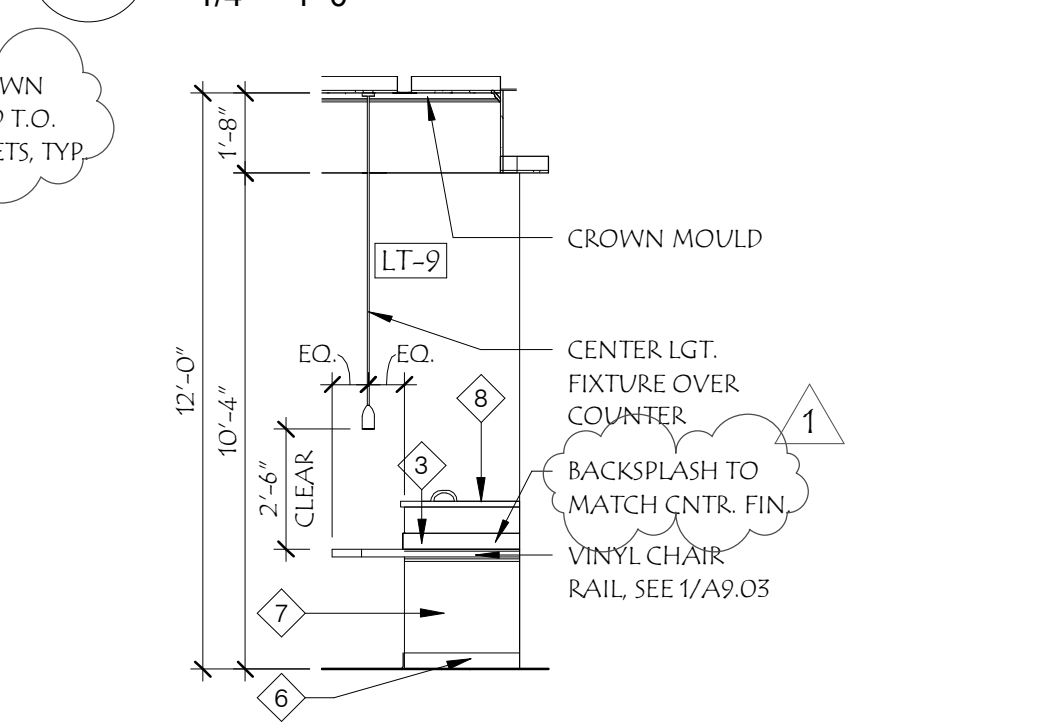
**19 PRIV. DIN / LIV RM ELEV**  
1/4" = 1'-0"



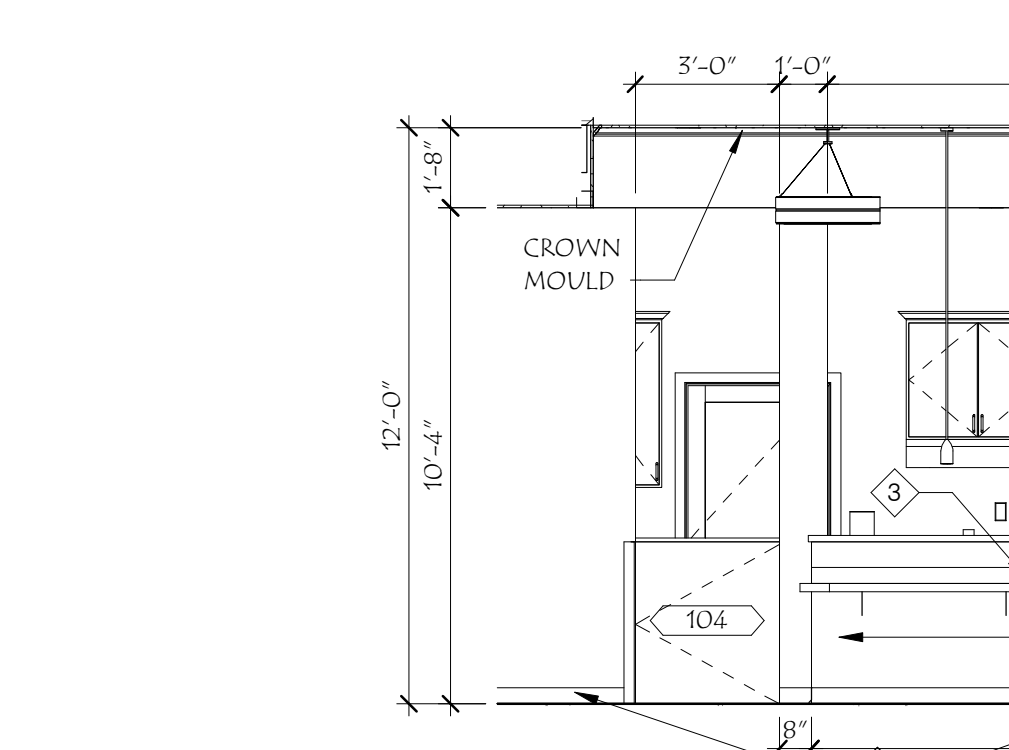
**18 LIVING ROOM - NORTH ELEVATION**  
1/4" = 1'-0"



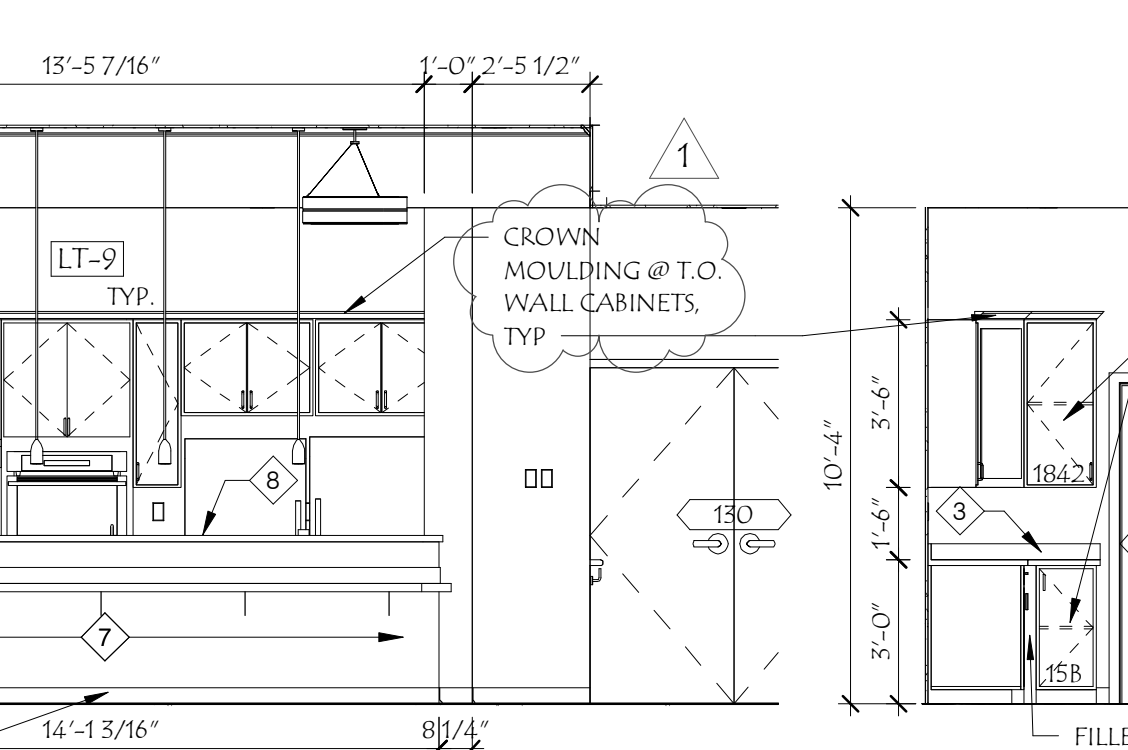
**17 KITCHEN - WEST ELEV**  
1/4" = 1'-0"



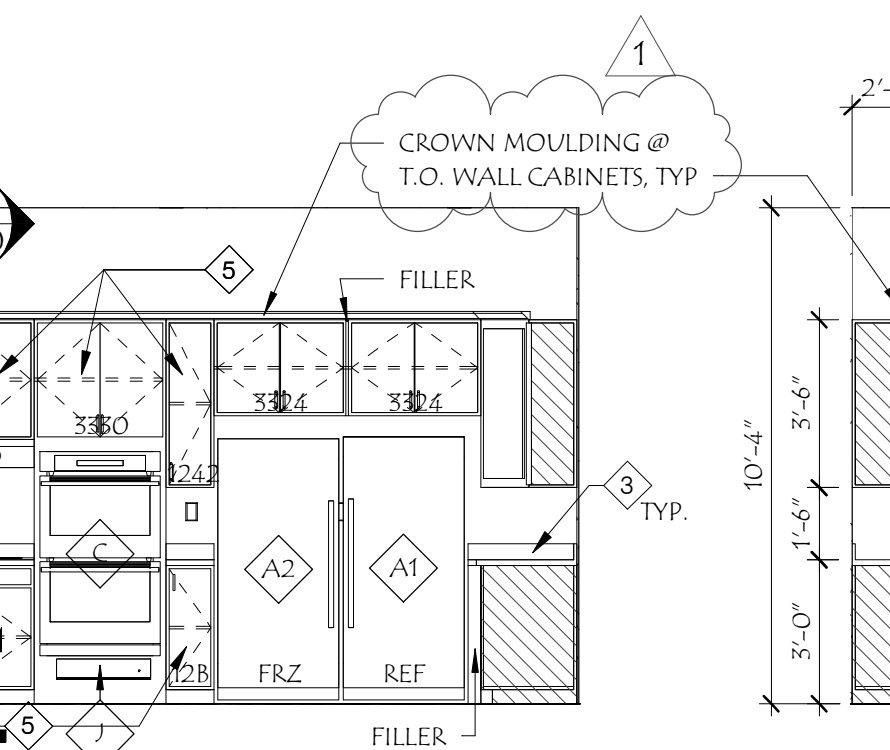
**16 CSWK ELEV.**  
1/4" = 1'-0"



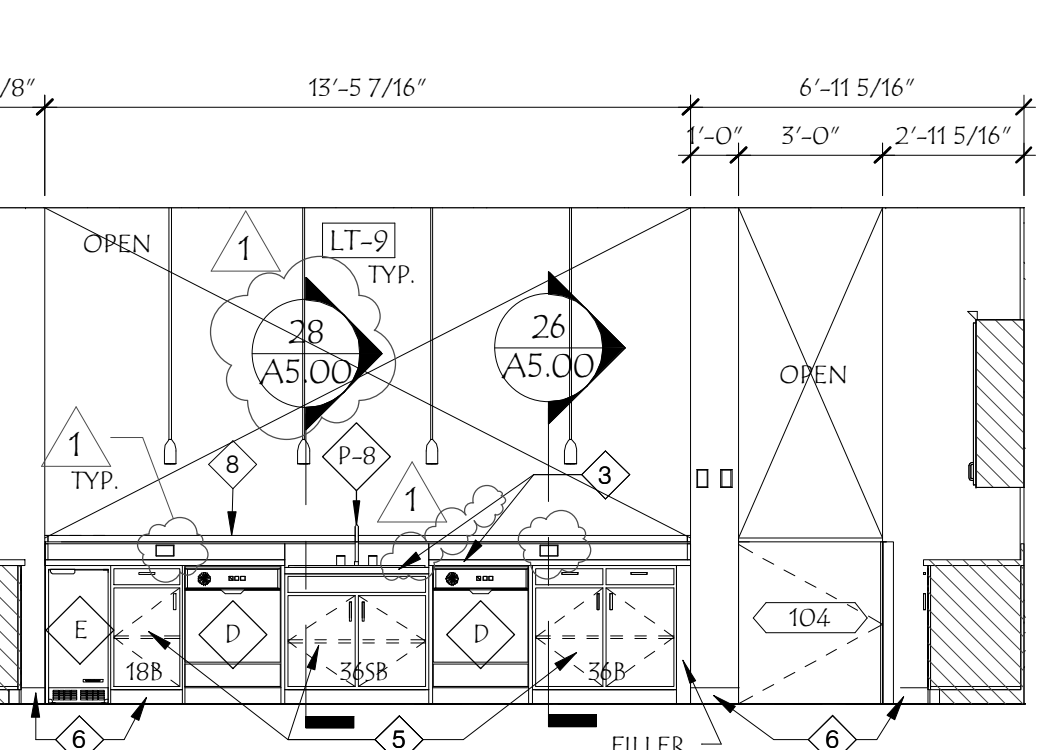
**15 KITCHEN COUNTER ELEVATION**  
1/4" = 1'-0"



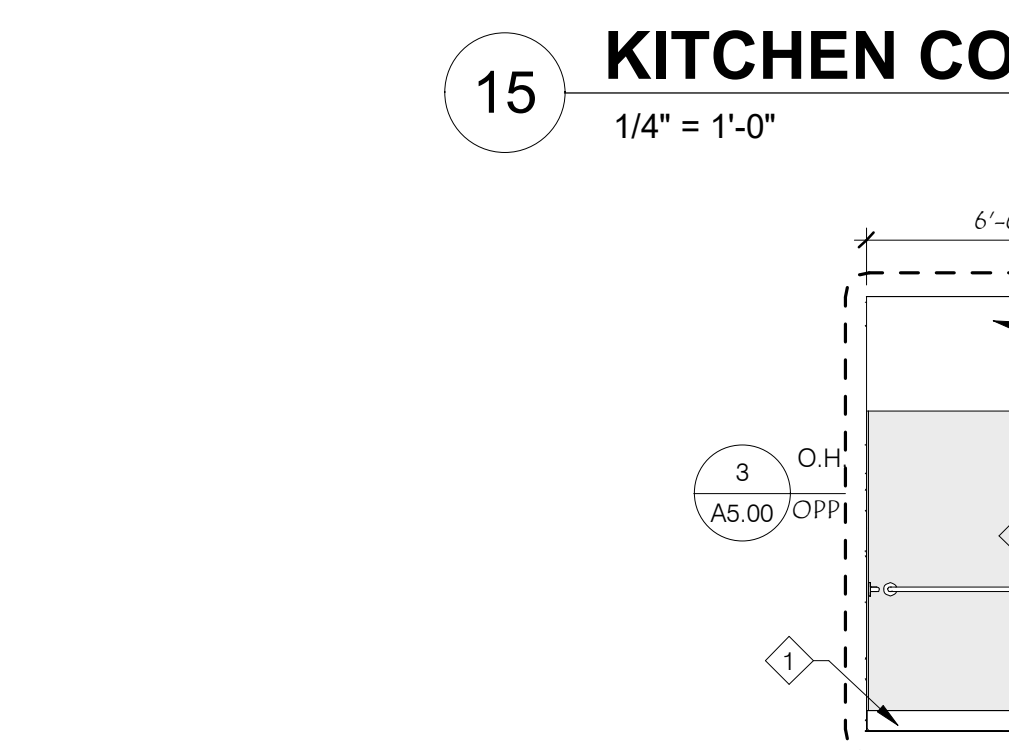
**14 KITCHEN - SOUTH ELEVATION**  
1/4" = 1'-0"



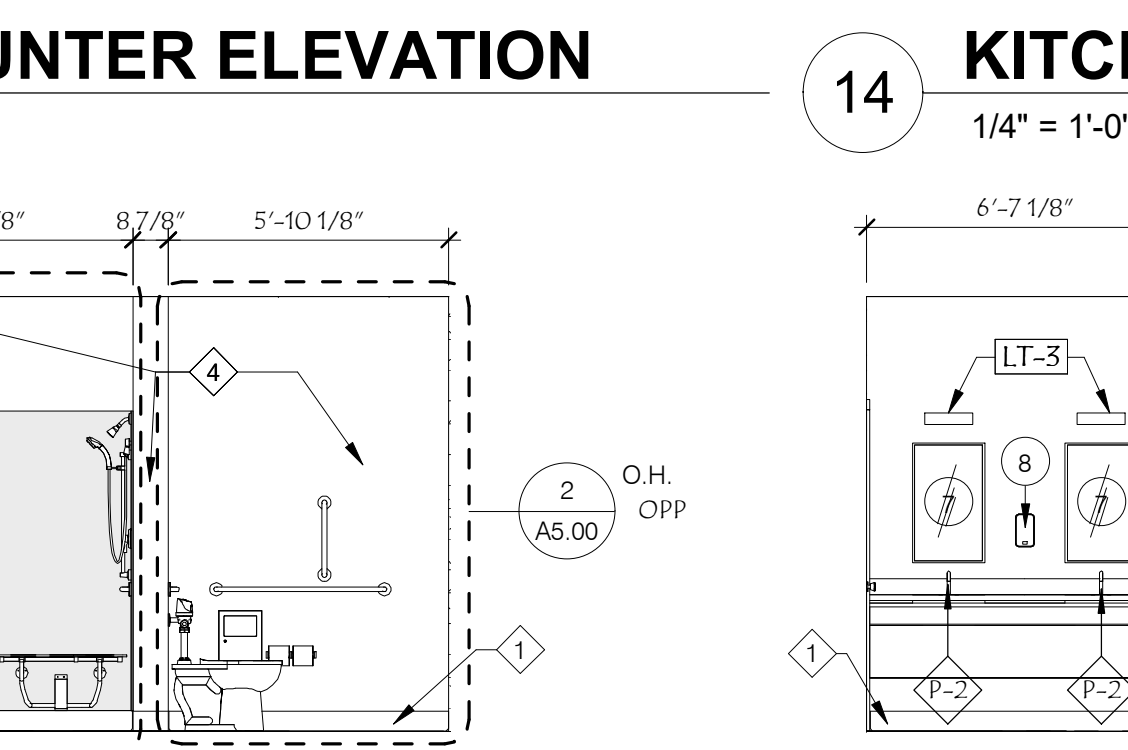
**13 KITCHEN - NORTH ELEVATION**  
1/4" = 1'-0"



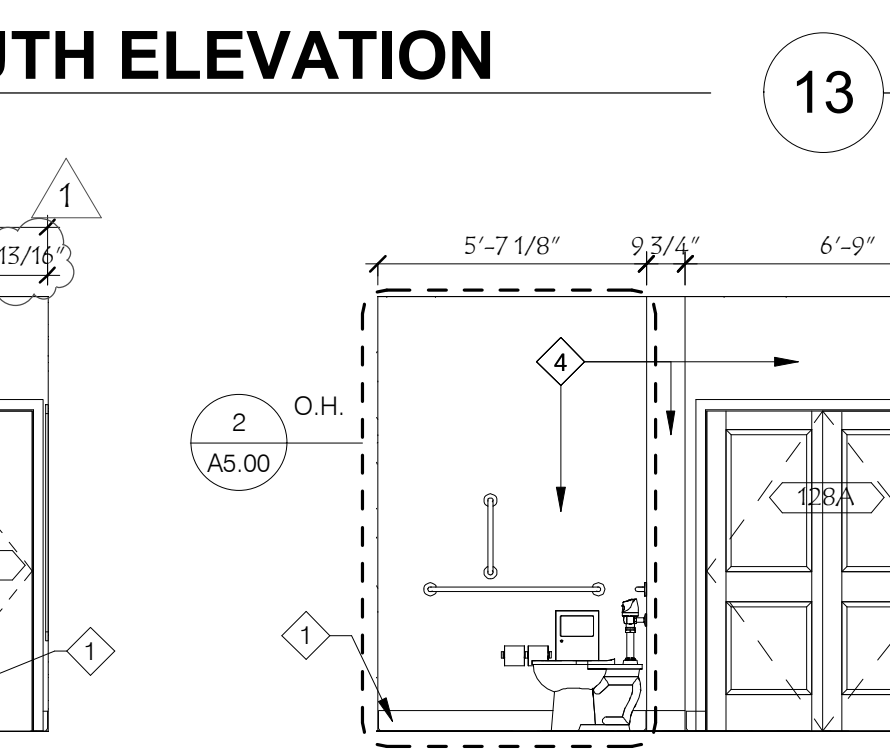
**12 KITCHEN - EAST ELEV**  
1/4" = 1'-0"



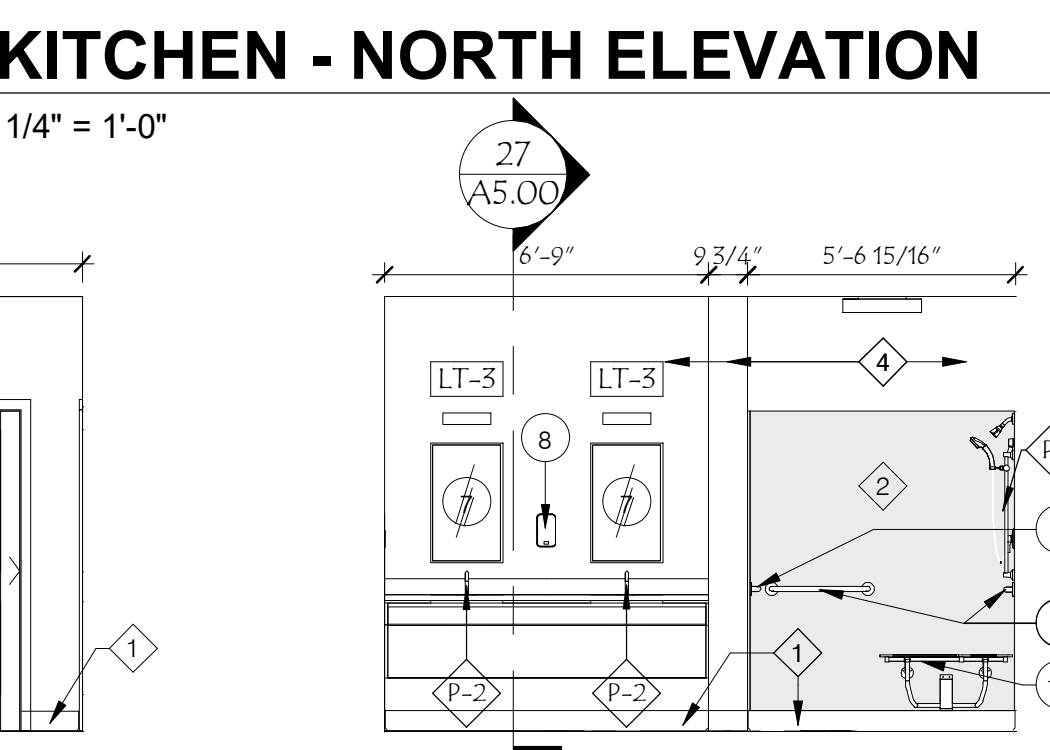
**11 BATH 4 - WEST EL.**  
1/4" = 1'-0"



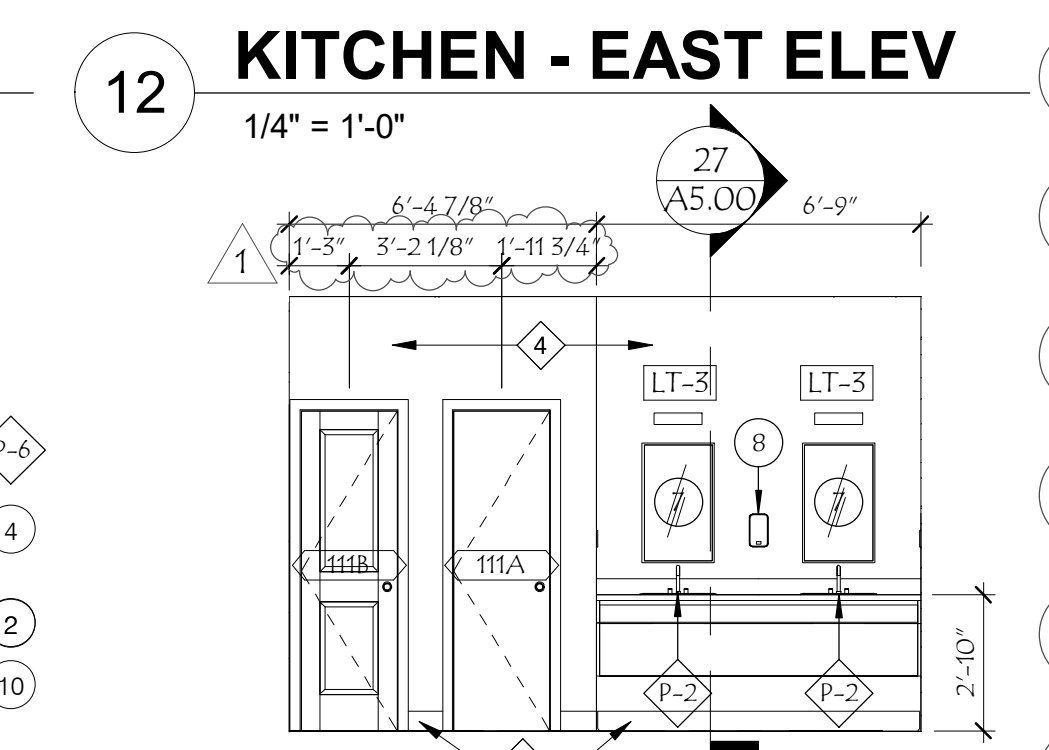
**10 BATH 4 - EAST ELEV.**  
1/4" = 1'-0"



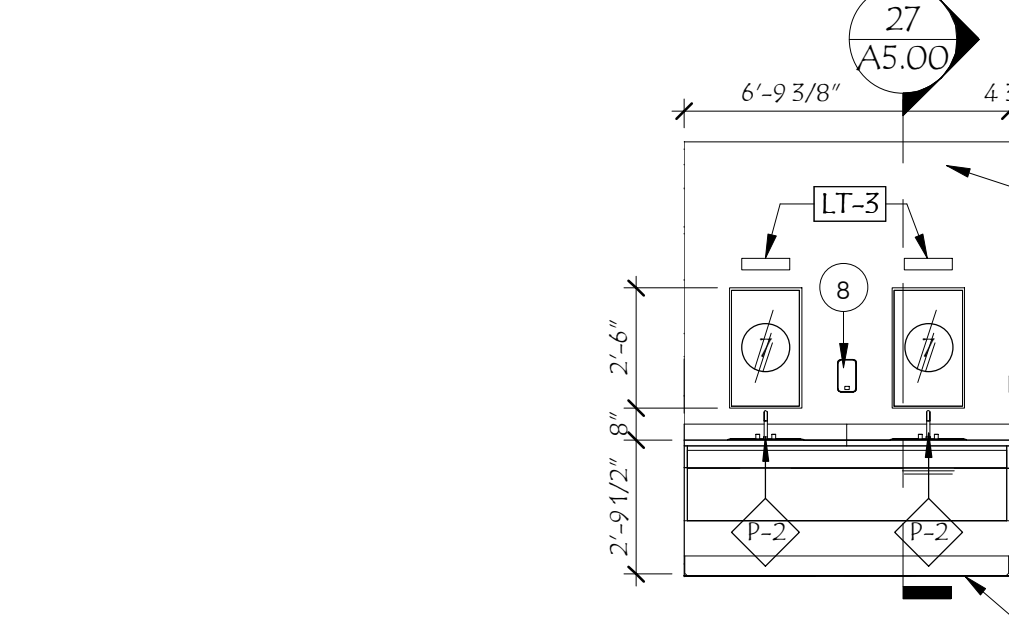
**9 BATH 3 - WEST ELEV.**  
1/4" = 1'-0"



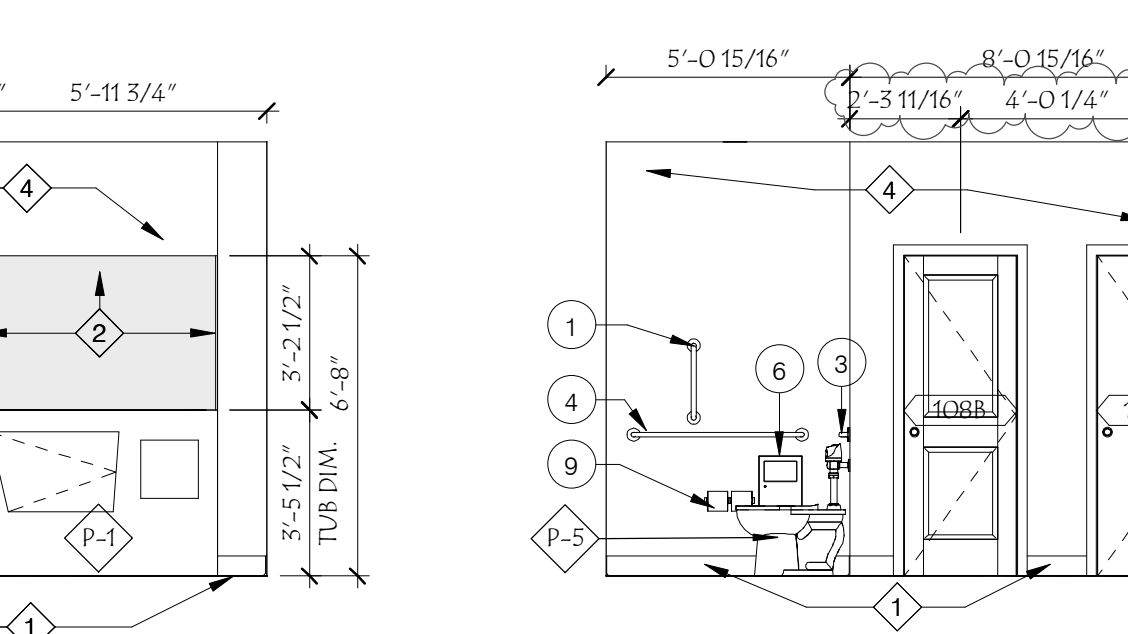
**8 BATH 3 - EAST ELEV.**  
1/4" = 1'-0"



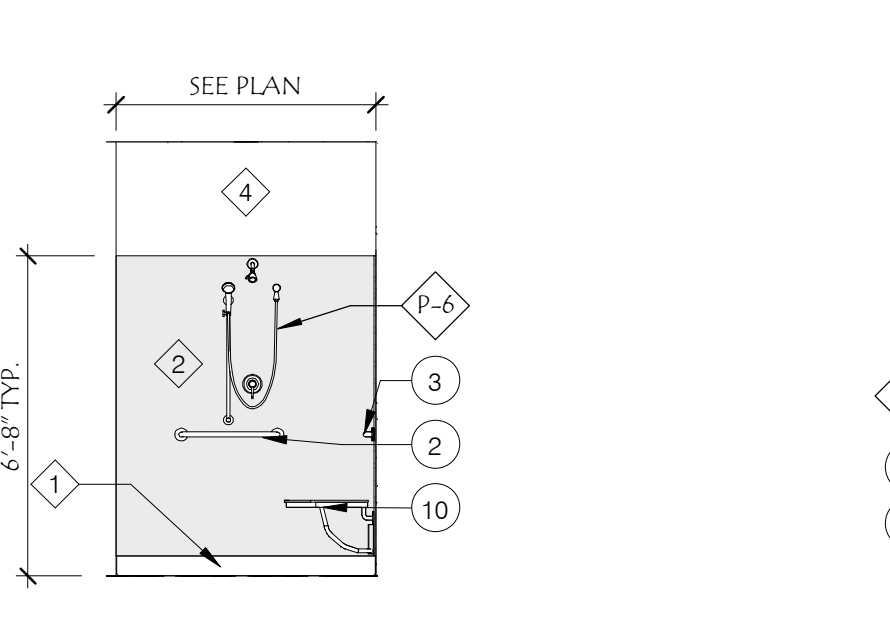
**7 BATH 2 - EAST ELEV.**  
1/4" = 1'-0"



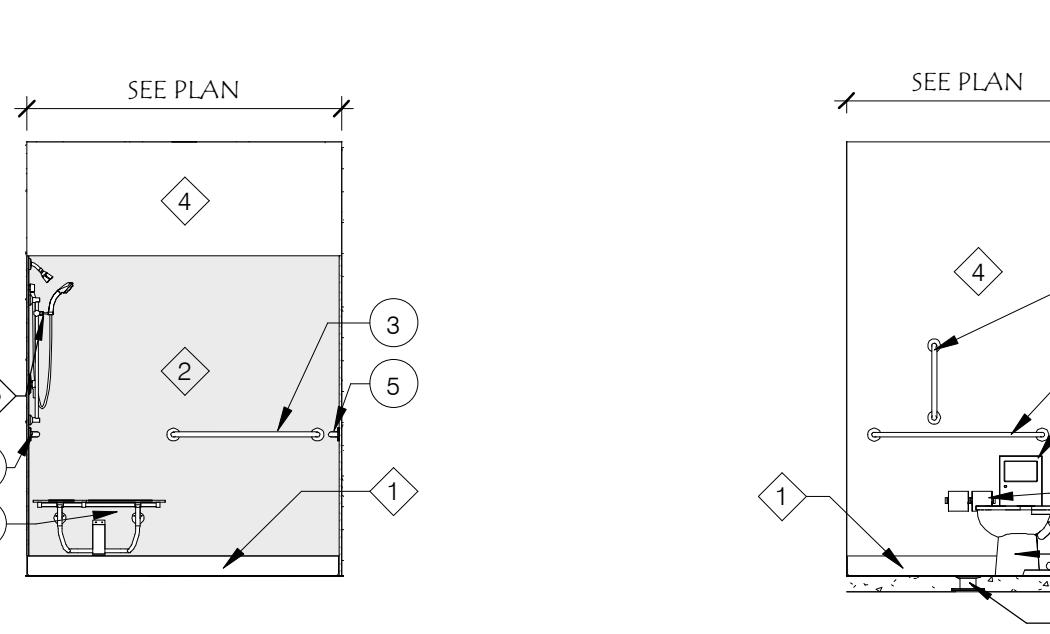
**6 BATH 1 - WEST ELEV.**  
1/4" = 1'-0"



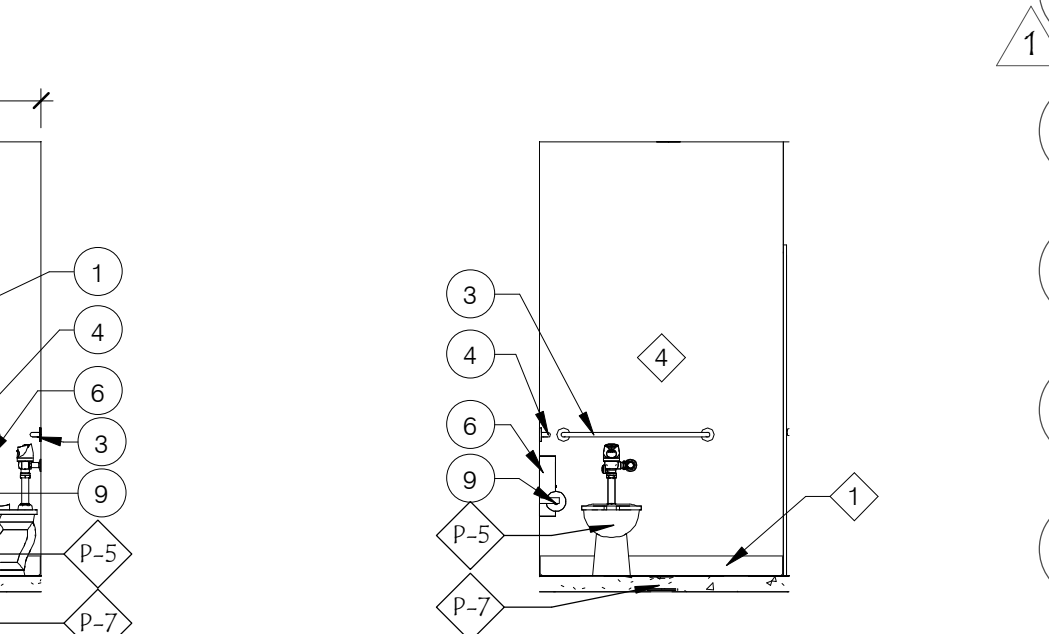
**5 BATH 1 - EAST ELEV.**  
1/4" = 1'-0"



**4 SHOWER ELEV. 2**  
1/4" = 1'-0"



**3 SHOWER ELEV. 1**  
1/4" = 1'-0"



**2 TOILET ELEV. 2**  
1/4" = 1'-0"



**1 TOILET ELEV. 1**  
1/4" = 1'-0"

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NO	DESCRIPTION	DATE
1	BID/PERMIT/CONST.	5/23/19
1	ADDED/OMIT	06/17/19

PROJECT NUMBER:  
18036.00  
**INTERIOR ELEV. & CASEWORK**

**A5.00**



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NO.	DESCRIPTION	DATE
1	BID/PERMIT/CONST.	5/23/19
1	ADDENDUM 1	06/17/19

PROJECT NUMBER:  
 18036.00  
**REFLECTED CEILING  
 PLAN-AREA A**

**A6.00**

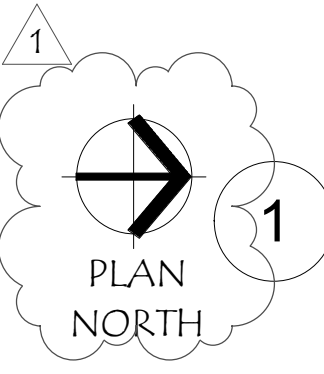
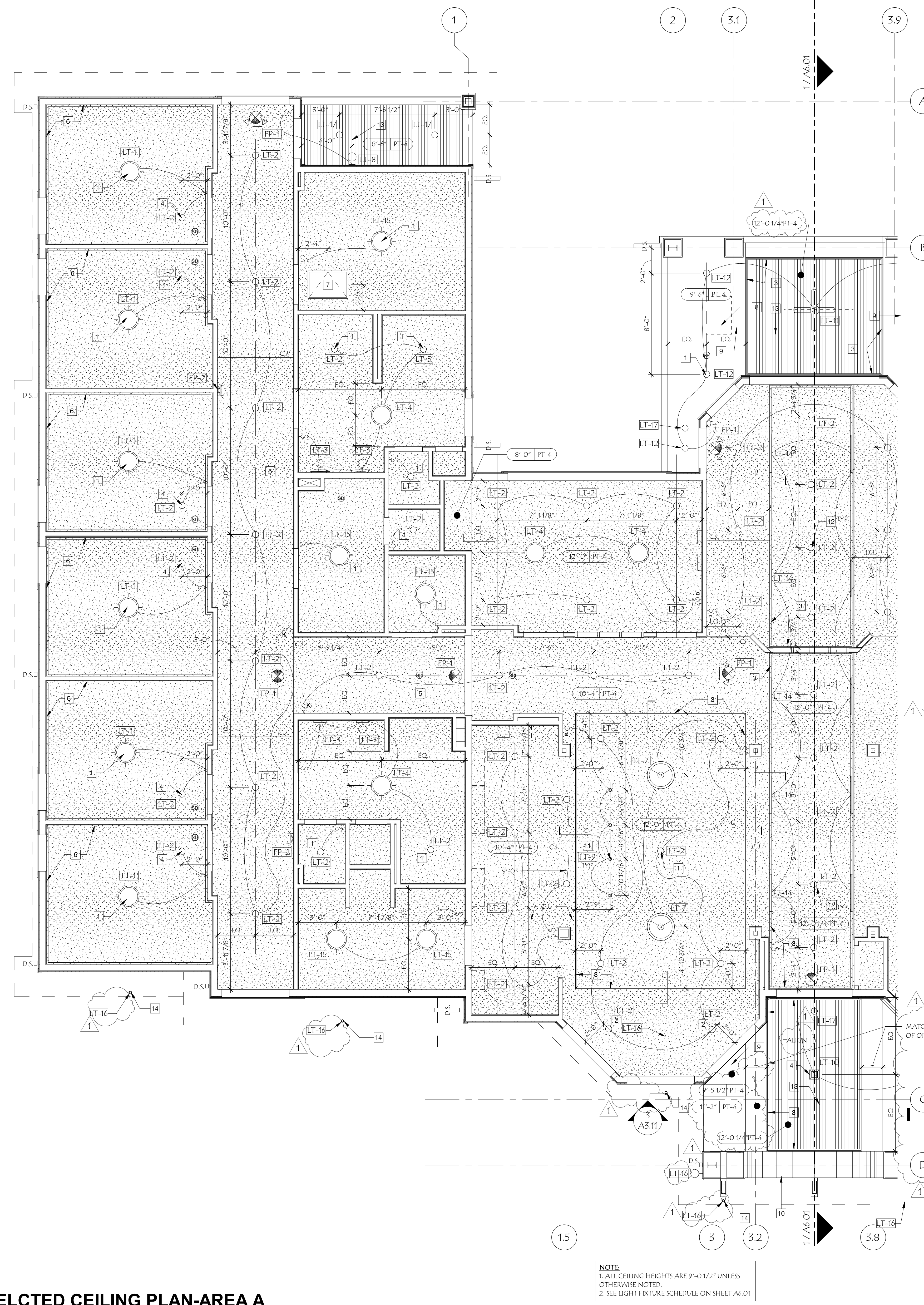
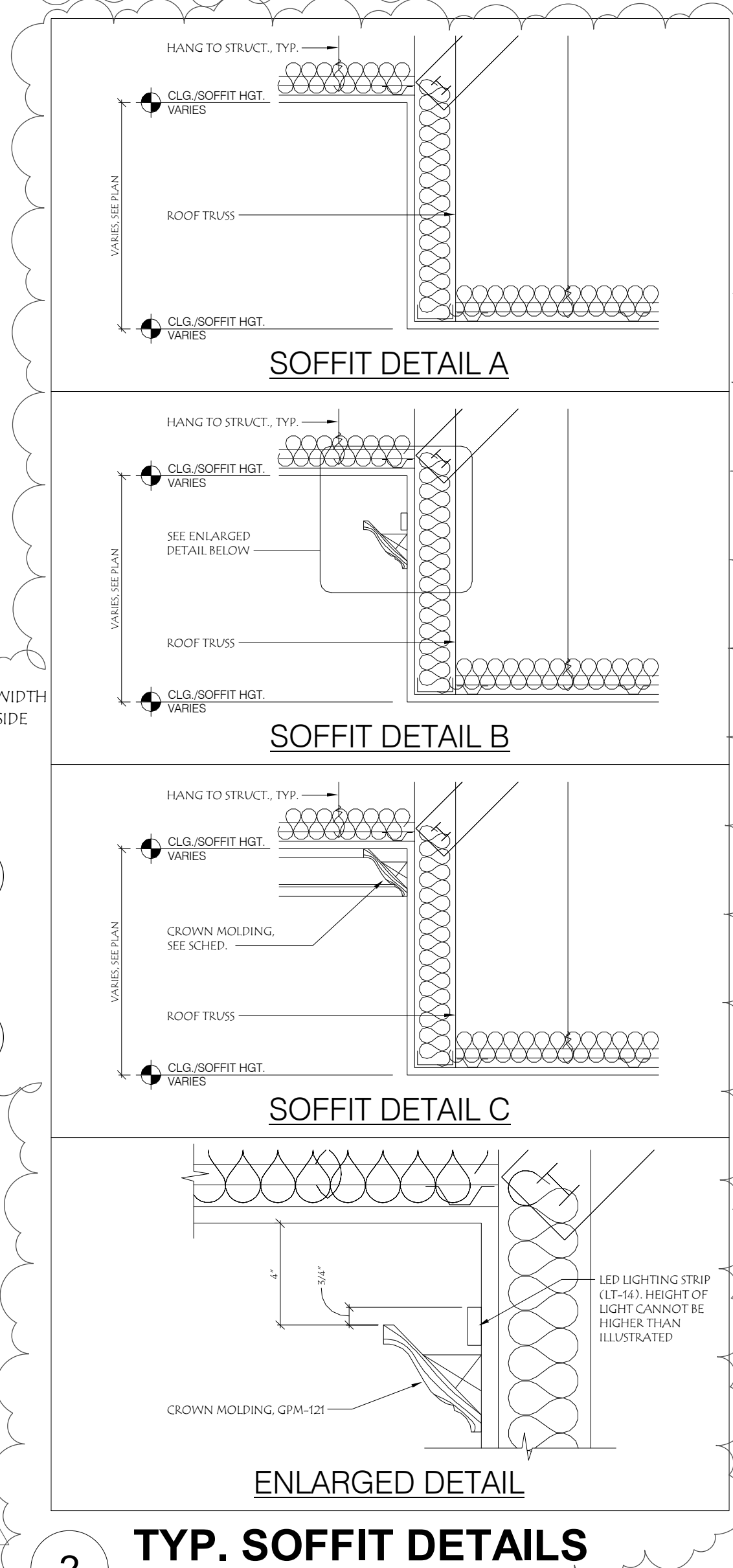
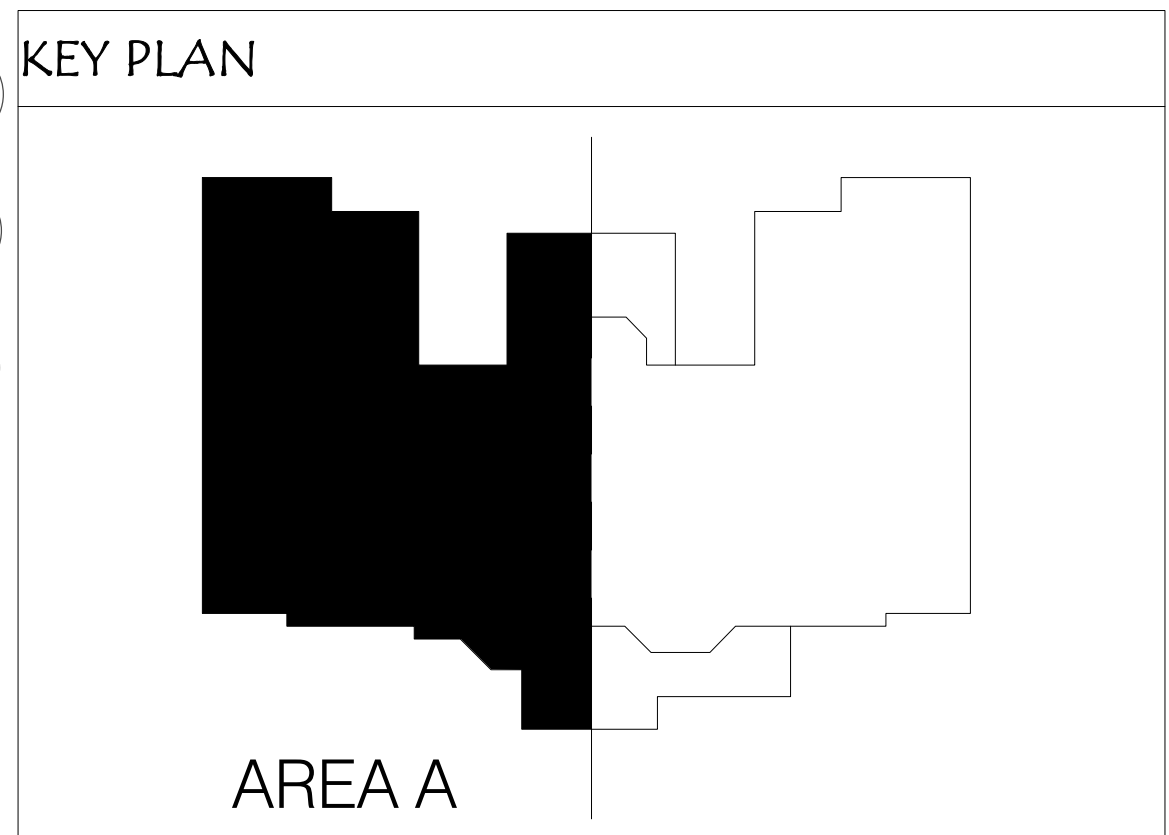
ELEC. & FIRE EQPT. SYMBOL LEGEND		RCP LEGEND	
	DUPLEX OUTLET (TYP. @ 4'-6" A.F.F.)		FCP SOFFIT SMOOTH FINISH FIBER CEMENT SOFFIT PANEL & J-MOLD
	ELEC. QUADPLEX OUTLET		GYP. BOARD CEILING 5/8" GYPSUM BOARD FASTENED TO BOT. OF ROOF TRUSS
	CABLE TV		VINYL SOFFIT VENTED ROOF SOFFIT PANEL & J-MOLD COLOR TO MATCH FASCIA COLOR - SEE SECTIONS.
	SWITCH (TYP. @ 4'-6" A.F.F.)		RECESSED CAN LIGHT
	KEYED SWITCH		CEILING MOUNT LIGHT
	WATER CONNECTION		2'x4' FLUORESCENT FIXTURE
	EMERGENCY PULL-STATION		6'x4' FLUORESCENT FIXTURE
	TELEPHONE		WALL SCONCE
	WALL VENT		OUTDOOR SCONCE
	NITE LIGHT		OUTDOOR FLOODLIGHT
	THERMOSTAT (@ 4'-6" A.F.F.)		WALL MOUNTED OR CEILING MOUNTED SPRINKLER HEAD
	POWER OUTLET-GFI		EXIT SIGN
	220V OUTLET		EXIT SIGN W/ EMERGENCY LIGHT
	FIRE EXTINGUISHER		EXIT EMERGENCY LIGHT W/ DIRECTION ARROW
	DATA PANEL		EMERGENCY LIGHTING
	DATA		EMERGENCY FIRE BELL
NOTE: ALL SYMBOLS ARE SHOWN FOR CLARITY & COORDINATION - SEE MECHANICAL, PLUMBING & ELECTRICAL SHEETS FOR EXACT LOCATIONS OF M.E.P. EQUIP & FIXTURES.			HEAT DETECTOR
E' SHOWN NEXT TO A SYMBOL INDICATES THAT THE FIXTURE IS EXISTING TO REMAIN			SPEAKER
N' SHOWN NEXT TO A SYMBOL INDICATES THAT THE FIXTURE IS NEW			SMOKE DETECTORS
R' SHOWN NEXT TO A SYMBOL INDICATES THAT THE FIXTURE IS RELOCATED			SURFACE MOUNTED SUPPLY GRILL
H' SHOWN NEXT TO A SYMBOL INDICATES THAT THE FIXTURE'S HEIGHT A.F.F. ALL HEIGHTS ARE CENTERLINE OF FIXTURE.			SURFACE MOUNTED RETURN GRILL

- ### GENERAL ELECTRICAL NOTES
- ALL WORK IS DESIGN-BUILD MEP/FP & DEVICES SHOWN FOR CLARITY.
  - CONTRACTOR SHALL BECOME FAMILIAR WITH THE PROJECT AND VERIFY ALL CONDITIONS, MATERIALS, AND DIMENSIONS WHICH WILL AFFECT THE WORK.
  - ALL WORK, INCLUDING ELECTRICAL AND GROUNDING SYSTEMS SHALL BE IN STRICT ACCORDANCE WITH THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE AS ADOPTED BY THE CITY, LATEST EDITION OF THE ICC ELECTRICAL CODE AND OTHER APPLICABLE LOCAL CODES AND ORDINANCES.
  - ALL CONTROL WIRING, INCLUDING TELEVISION, ETC. IN PLENUM AREAS SHALL BE RUN IN CONDUIT.
  - PROVIDE GFI OUTLETS AT ALL "WET" LOCATIONS AS REQUIRED.
  - ELECTRICAL OUTLETS AND BOXES IN COMMON WALLS BETWEEN ADJACENT ROOMS SHALL NOT BE INSTALLED BACK TO BACK. BOXES SHALL BE UL RATED FOR RATED WALL INSTALLATION AND INSTALLED AS PER MANUFACTURER'S RECOMMENDATIONS (MIN. OF 20" HORIZONTAL SEPARATION). IF BOXES CANNOT BE INSTALLED THIS WAY AND ARE CLOSER THEN MINIMUM DISTANCE THEY SHALL BE WRAPPED WITH FIRE PUTTY BLANKET AS PER UL DESIGN.
  - PROVIDE WORKING CLEARANCES REQUIRED BY THE CODE AT ALL ELECTRICAL EQUIPMENT.
  - ALL EXIT, EMERGENCY, AND NIGHT LIGHTS SHALL BE WIRED UNSWITCHED.
  - WHERE EQUIPMENT IS NOTED "BY OWNER" ON THE DRAWINGS, THE ITEM WILL BE DELIVERED TO THE JOB SITE BY THE OWNER TO BE INSTALLED BY THE CONTRACTOR OR SUB-CONTRACTOR.
  - IT IS HVAC CONTRACTORS RESPONSIBILITY TO SPEC NEW DIFFUSERS, BRANCH DUCTS, BALANCE SYSTEM AS REQUIRED BY LOCAL GOVERNING CODE.
  - IT IS ELECTRICAL CONTRACTORS RESPONSIBILITY TO CHECK LIGHT LEVELS AND QUALITY ARE CONFORMING TO LOCAL CODES. PROVIDE NEW WIRING AND LIGHT FIXTURES AS REQUIRED.
  - IT IS SPRINKLER CONTRACTORS RESPONSIBILITY TO SPEC NEW SPRINKLER HEADS, RELOCATE EXISTING AND PROVIDE NEW AS REQUIRED TO MEET LOCAL GOVERNING CODES AND REQUIREMENTS.

### KEYED REF. CEILING PLAN NOTES

NO.	DESCRIPTION
1	CENTER LIGHT FIXTURE IN ROOM
2	CENTER LIGHT FIXTURE ON WINDOW
3	CROWN MOULDING GPM-121 PTD.
4	CENTER LIGHT FIXTURE ON DOOR
5	GC TO VERIFY HALL LIGHT LEVEL MEETS MIN STANDARDS
6	ALTERNATIVE: 4" CROWN MOULDING GPM-SB
7	2'-6" x 9'-0" ATTIC ACCESS PANEL
8	GAS RADIANT HEAT PANEL
9	PTD. EXT. QTY. BD.
10	HATCH DENOTES ARCHED OPENING
11	CENTER LGTS. ON WALL IN FRONT OF COUNTER. SEE ELEV 16/A6.00.
12	CENTER LIGHT FIXTURES ALONG RAISED CEILING
13	PROVIDE HARDENED SOFFIT-HEADED JOIST PANELS
14	LOCATE LIGHT FIXTURE 5" FROM FACE OF OVERHANG

- ### GENERAL REFLECTED CEILING PLAN NOTES
- LIGHT FIXTURES SHOWN ON ARCHITECTURAL REFLECTED CEILING PLAN ARE FOR REFERENCE/DESIRED LOCATION ONLY. SEE ELECTRICAL DRAWINGS FOR MORE INFORMATION REGARDING FIXTURE TYPES, ELECTRICAL REQUIREMENTS, ETC.
  - CONTRACTOR SHALL BECOME FAMILIAR WITH THE PROJECT AND VERIFY ALL CONDITIONS, MATERIALS, AND DIMENSIONS WHICH WILL AFFECT THE WORK.
  - REVIEW FINAL LOCATIONS OF CEILING AIR DEVICES WITH ARCHITECT PRIOR TO INSTALLATION.
  - GENERAL CONTRACTOR TO PROVIDE CONTROL JOINTS IN ALL GYPSUM BOARD CEILING BASED ON LGS STANDARDS AND RECOMMENDATION.
  - REFER TO SPECIFICATIONS FOR GENERAL CONDITIONS AND ADDITIONAL INFORMATION.
  - ALL CEILING HEIGHTS ARE 9'-0 1/2" FROM TOP OF FINISH FLOOR TO UNDERSIDE OF FINISH CEILING UNLESS OTHERWISE NOTED.
  - PROVIDE LATERAL BRACING FOR SUSPENDED CEILING SYSTEMS AND ADDITIONAL HANGERS AND SAFETY WIRES FOR LIGHT FIXTURES, DUCTWORK, SPEAKERS, ETC. SEE TYPICAL BRACING DETAILS FOR MORE INFORMATION.
  - PROVIDE NON COMBUSTIBLE BLOCKING AND BRACING REQUIRED FOR FIXTURE INSTALLATION AND ALL ELECTRICAL COMPONENTS.
  - THE BOTTOM OF ALL ROOF TRUSSES IS TO RECEIVE GYPSUM BOARD CREATING A THERMAL BARRIER TO ATTIC ABOVE.
  - PROVIDE ACCESS PANELS FOR PLUMBING, ELECTRICAL, ETC. AS REQUIRED TO ACCESS EQUIPMENT OR CONTROLS. LOCATIONS TO BE APPROVED BY ARCHITECT PRIOR. INSTALL ALL ACCESS PANELS TO BE PAINTED SURROUNDING MATERIAL COLOR TYP.



**REFLECTED CEILING PLAN-AREA A**

1/4" = 1'-0"

NOTE:  
 1. ALL CEILING HEIGHTS ARE 9'-0 1/2" UNLESS OTHERWISE NOTED.  
 2. SEE LIGHT FIXTURE SCHEDULE ON SHEET A6.01



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DATE	5/23/19
BID/FIRM/CONST.	06/17/19
ADDENDUM 1	

PROJECT NUMBER:  
 18036.00  
**REFLECTED CEILING PLAN-AREA B**

**A6.01**

### ELEC. & FIRE EQPT. SYMBOL LEGEND

	DUPLEX OUTLET (TYP. @ 4'-6" A.F.F.)		WALL VENT
	ELEC. QUADPLEX OUTLET		NITE LIGHT
	CABLE TV		THERMOSTAT (@ 4'-6" A.F.F.)
	SWITCH (TYP. @ 4'-6" A.F.F.)		POWER OUTLET-GFI
	KEYED SWITCH		220V OUTLET
	WATER CONNECTION		FIRE EXTINGUISHER
	EMERGENCY PULL-STATION		FIRE PANEL
	TELEPHONE		DATA

NOTE: ALL SYMBOLS ARE SHOWN FOR CLARITY & COORDINATION - SEE MECHANICAL, PLUMBING & ELECTRICAL SHEETS FOR EXACT LOCATIONS OF M.E.P. EQUIP. & FIXTURES.

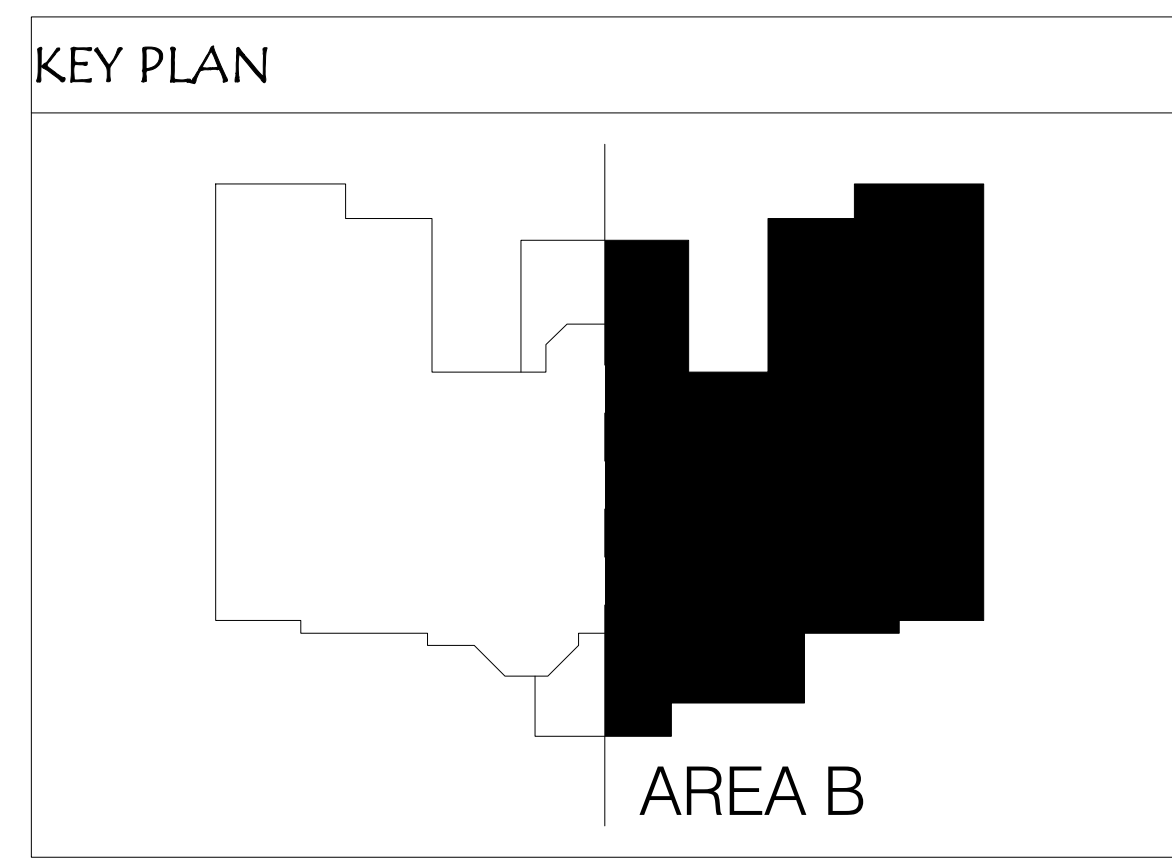
'E' SHOWN NEXT TO A SYMBOL INDICATES THAT THE FIXTURE IS EXISTING TO REMAIN  
 'N' SHOWN NEXT TO A SYMBOL INDICATES THAT THE FIXTURE IS NEW.  
 'R' SHOWN NEXT TO A SYMBOL INDICATES THAT THE FIXTURE IS RELOCATED.  
 'H' SHOWN NEXT TO A SYMBOL INDICATES THAT THE FIXTURE'S HEIGHT A.F.F. ALL HEIGHTS ARE CENTERLINE OF FIXTURE.

### GENERAL ELECTRICAL NOTES

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- ELECTRICAL OUTLETS AND BOXES IN COMMON WALLS BETWEEN ADJACENT ROOMS SHALL NOT BE INSTALLED BACK TO BACK. BOXES SHALL BE UL RATED FOR RATED WALL INSTALLATION AND INSTALLED AS PER MANUFACTURER'S RECOMMENDATIONS (MIN. OF 20" HORIZONTAL SEPARATION). IF BOXES CANNOT BE INSTALLED THIS WAY AND ARE CLOSER THEN MINIMUM DISTANCE THEY SHALL BE WRAPPED WITH FIRE PUTTY BLANKET AS PER UL DESIGN.
- PROVIDE WORKING CLEARANCES REQUIRED BY THE CODE AT ALL ELECTRICAL EQUIPMENT.
- ALL EXIT, EMERGENCY, AND NIGHT LIGHTS SHALL BE WIRED UNSWITCHED
- WHERE EQUIPMENT IS NOTED "BY OWNER" ON THE DRAWINGS, THE ITEM WILL BE DELIVERED TO THE JOB SITE BY THE OWNER TO BE INSTALLED BY THE CONTRACTOR OR SUB-CONTRACTOR.
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- IT IS SPRINKLER CONTRACTORS RESPONSIBILITY TO SPEC NEW SPRINKLER HEADS, RELOCATE EXISTING AND PROVIDE NEW AS REQUIRED TO MEET LOCAL GOVERNING CODES AND REQUIREMENTS.

### KEYED FLOOR PLAN NOTES

NO.	DESCRIPTION
1	CROWN MOULDING GPM-121, PTD.
2	CENTER LIGHT FIXTURE IN ROOM
3	CENTER LIGHT FIXTURE ON DOOR
4	ALTERNATIVE 4" CROWN MOULDING GPM-88
5	GC TO VERIFY HALL LIGHT LEVEL MEETS MIN STANDARDS
6	PTD. EXT. GYP. BD.
7	GAS RADIANT HEAT PANEL
8	HATCH DENOTES ARCHED OPENING
9	CENTER LIGHT FIXTURES ALONG RAISED CEILING
10	PROVIDE HARDIE SOFFIT READED PORCH PANELS
11	LOCATE LIGHT FIXTURE 3" FROM FACE OF OVERHANG



### LIGHT FIXTURE SCHEDULE

TAG	LOCATION	DESCRIPTION	MANUFACTURER	MODEL	LIGHT SOURCE	COMMENTS	ALLOWANCE
FP-1		CEILING MOUNTED EXIT LIGHT	EVENLITE	SOVEREIGN ARCHITECTURAL EDGLIT			
FP-2		EMERGENCY LIGHT					
LT-1	BEDROOM	SURFACE MOUNTED SQUARE DOWNLIGHT	E LIGHTING	LED 4404	LED		\$85.00
LT-2			LIGHTOLIER	6" SLIM SURFACE LED	LED		\$125.00
LT-3	TOILET COUNTER	WALL SCONCE	E LIGHTING	LED 6560	LED		\$85.00
LT-4	TOILET ROOM	SURFACE MOUNTED SQUARE DOWNLIGHT	E LIGHTING	SAME AS "LT-2"	LED	FOR WET LOCATIONS	\$75.00
LT-5	SHOWER	SURFACE MOUNTED SQUARE DOWNLIGHT	E LIGHTING	LED 2110	LED		\$55.00
LT-6	DINING	DECORATIVE PENDANT	E LIGHTING	LED 2802	LED		\$175
LT-7	BREAKFAST BAR	DECORATIVE LOW VOLTAGE PENDANT	E LIGHTING	LED 2655	LED		\$200
LT-8	FRONT FRONT	OUTDOOR DECORATIVE PENDANT		52"		FOR OUTDOOR USE W/ WHITE TRIM	\$85.00/ FT.
LT-9	REAR PATIO	OUTDOOR FAN & LIGHT					
LT-10	EXTERIOR SOFFITS	SQUARE DOWNLIGHT		SAME AS "LT-2"			
LT-11	MAIN CORR. COVE. SUNROOM COVE.	COVE LIGHT	PHILIPS	VAVA COVE. 350-000012-09 & 011	LED		
LT-12	STORAGE, MECH. LAUNDRY	SURFACE MOUNTED SLIM WALL PACK/FLOOD			LED	"GLASS/STAINLESS"	
LT-13							
LT-14	EXTERIOR AT COVERED AREA	OUTDOOR EXIT LIGHTS		SAME AS "LT-2"		4" SQ. W/ WHITE FINISH. SEE NOTE 5	

### GENERAL LIGHT NOTES

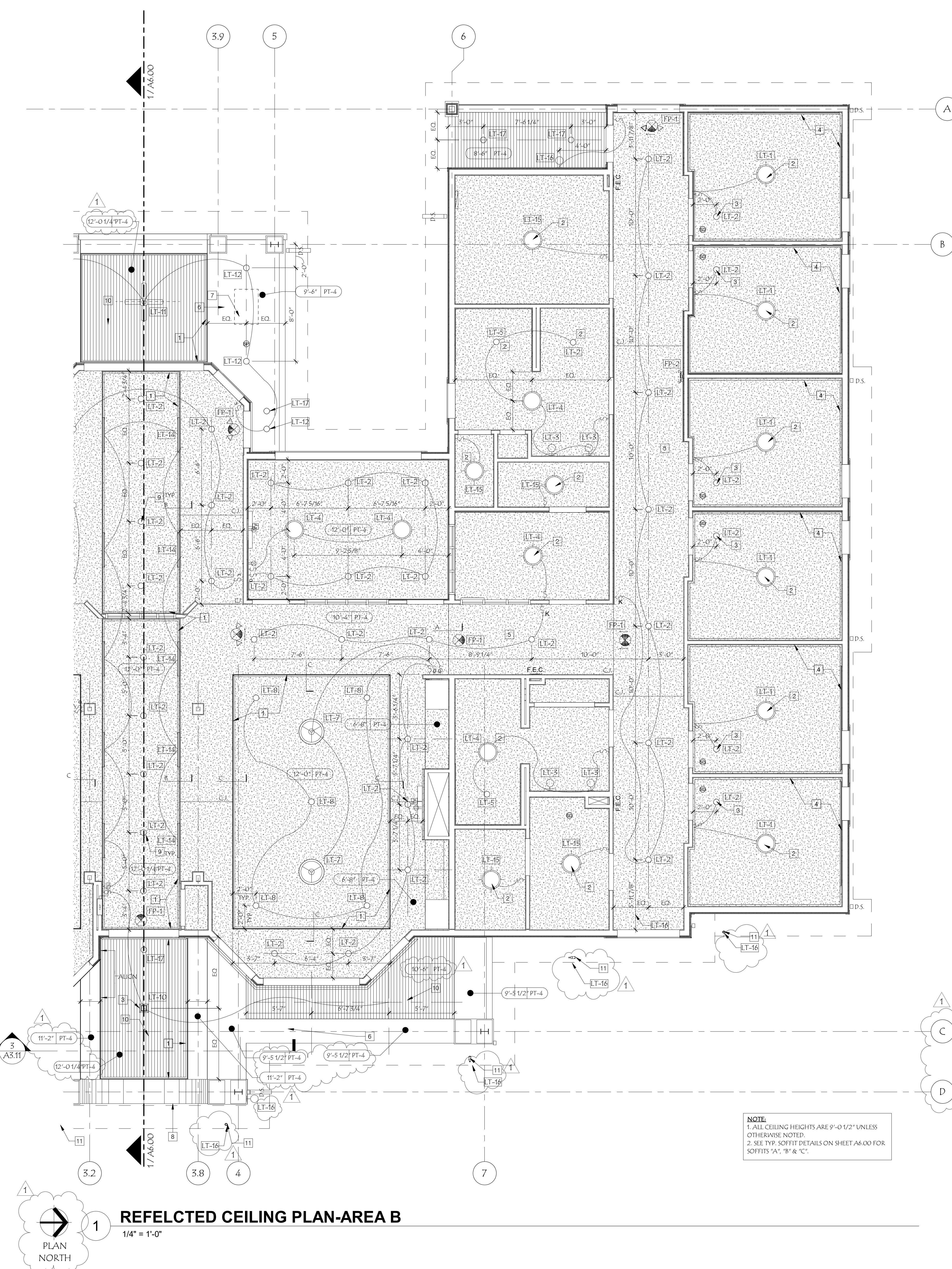
- ALL LIGHTS TO BE 4,000K LIGHT TEMPERATURE
- ALL SWITCHES TO BE ON/OFF W/ DIMMING
- OUTDOOR FIXTURE SCHEDULED FOR EMERGENCY LIGHTING ON BATTERY BACK-UP REQUIRED FOR EGRESS. FIXTURE TO BE WIRED OFF BATTERY FROM EXIT LIGHT ON INTERIOR SIDE OF DOOR.

### RCP LEGEND

	FCC SOFFIT SMOOTH FINISH FIBER CEMENT SOFFIT PANEL & J-MOLD
	GYPSUM BOARD CEILING 5/8" GYPSUM BOARD FASTENED TO BOT. OF ROOF TRUSS
	VINYL SOFFIT VENTED ROOF SOFFIT PANEL & J-MOLD COLOR TO MATCH FASCIA COLOR - SEE SECTIONS.
	RECESSED CAN LIGHT
	CEILING MOUNT LIGHT
	2'x4' FLUORESCENT FIXTURE
	6'x4' FLUORESCENT FIXTURE
	WALL SCONCE
	OUTDOOR SCONCE
	OUTDOOR FLOODLIGHT
	WALL MOUNTED OR CEILING MOUNTED SPRINKLER HEAD
	EXIT SIGN
	EXIT SIGN W/ EMERGENCY LIGHT
	EXIT EMERGENCY LIGHT W/ DIRECTION ARROW
	EMERGENCY FIRE BELL
	HEAT DETECTOR
	SPEAKER
	SMOKE DETECTORS
	SURFACE MOUNTED SUPPLY GRILL
	SURFACE MOUNTED RETURN GRILL

### GENERAL REFLECTED CEILING PLAN NOTES

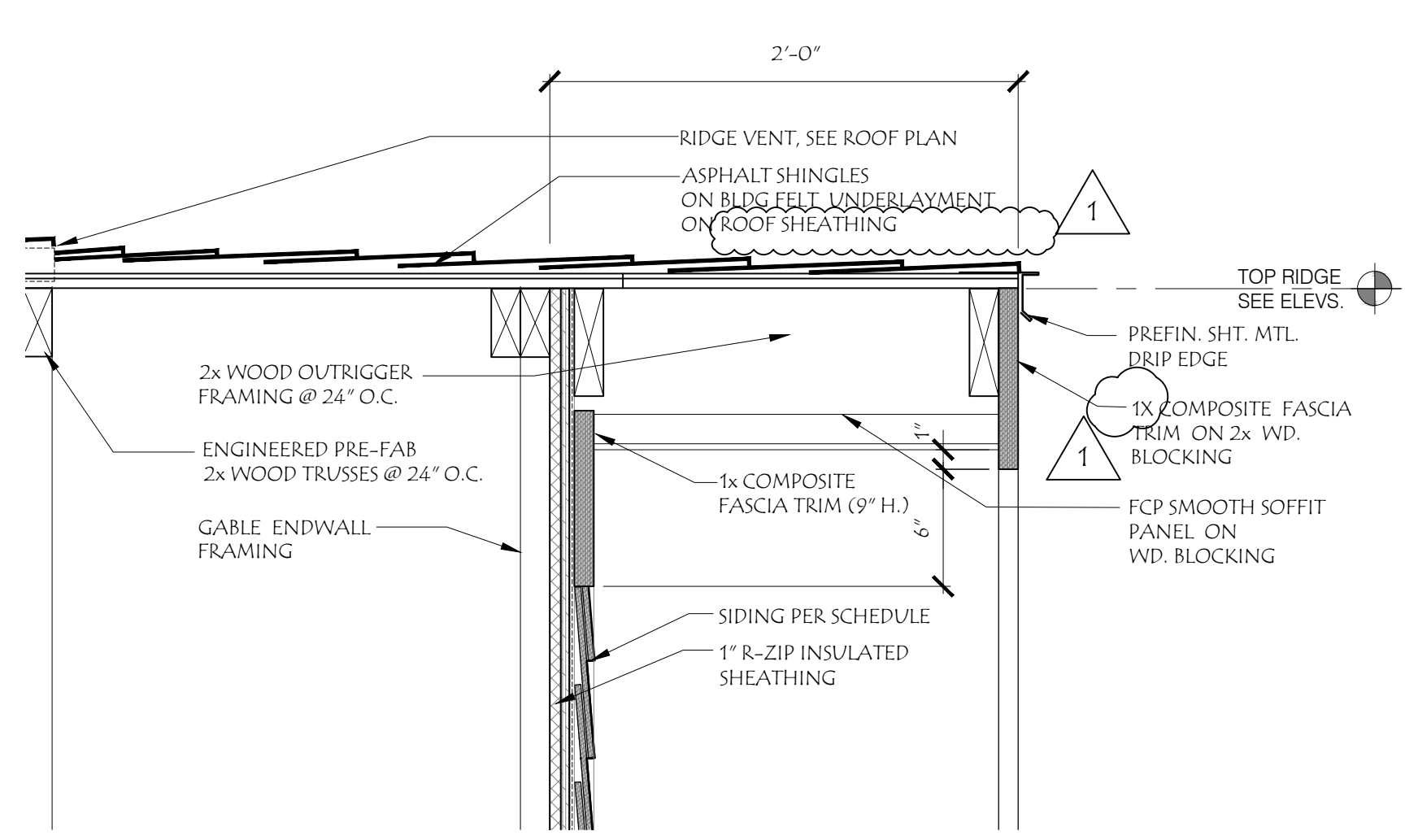
- LIGHT FIXTURES SHOWN ON ARCHITECTURAL REFLECTED CEILING PLAN ARE FOR REFERENCE/DESIRED LOCATION ONLY. SEE ELECTRICAL DRAWINGS FOR MORE INFORMATION REGARDING FIXTURE TYPES, ELECTRICAL REQUIREMENTS, ETC.
- CONTRACTOR SHALL BECOME FAMILIAR WITH THE PROJECT AND VERIFY ALL CONDITIONS, MATERIALS, AND DIMENSIONS WHICH WILL AFFECT THE WORK.
- REVIEW FINAL LOCATIONS OF CEILING AIR DEVICES WITH ARCHITECT PRIOR TO INSTALLATION.
- GENERAL CONTRACTOR TO PROVIDE CONTROL JOINTS IN ALL GYPSUM BOARD CEILING BASED ON UFG STANDARDS AND RECOMMENDATION.
- REFER TO SPECIFICATIONS FOR GENERAL CONDITIONS AND ADDITIONAL INFORMATION.
- ALL CEILING HEIGHTS ARE 9'-0 1/2" FROM TOP OF FINISH FLOOR TO UNDERSIDE OF FINISH CEILING UNLESS OTHERWISE NOTED.
- PROVIDE LATERAL BRACING FOR SUSPENDED CEILING SYSTEMS AND ADDITIONAL HANGERS AND SAFETY WIRES FOR LIGHT FIXTURES, DUCTWORK, SPEAKERS, ETC. SEE TYPICAL BRACING DETAILS FOR MORE INFORMATION.
- PROVIDE NON-COMBUSTIBLE BLOCKING AND BRACING REQUIRED FOR FIXTURE INSTALLATION AND ALL ELECTRICAL COMPONENTS.
- THE BOTTOM OF ALL ROOF TRUSSES IS TO RECEIVE GYPSUM BOARD CREATING A THERMAL BARRIER TO ATTIC ABOVE.
- PROVIDE ACCESS PANELS FOR PLUMBING, ELECTRICAL, ETC. AS REQUIRED TO ACCESS EQUIPMENT OR CONTROLS. LOCATIONS TO BE APPROVED BY ARCHITECT PRIOR INSTALL. ALL ACCESS PANELS TO BE PAINTED SURROUNDING MATERIAL COLOR TYP.



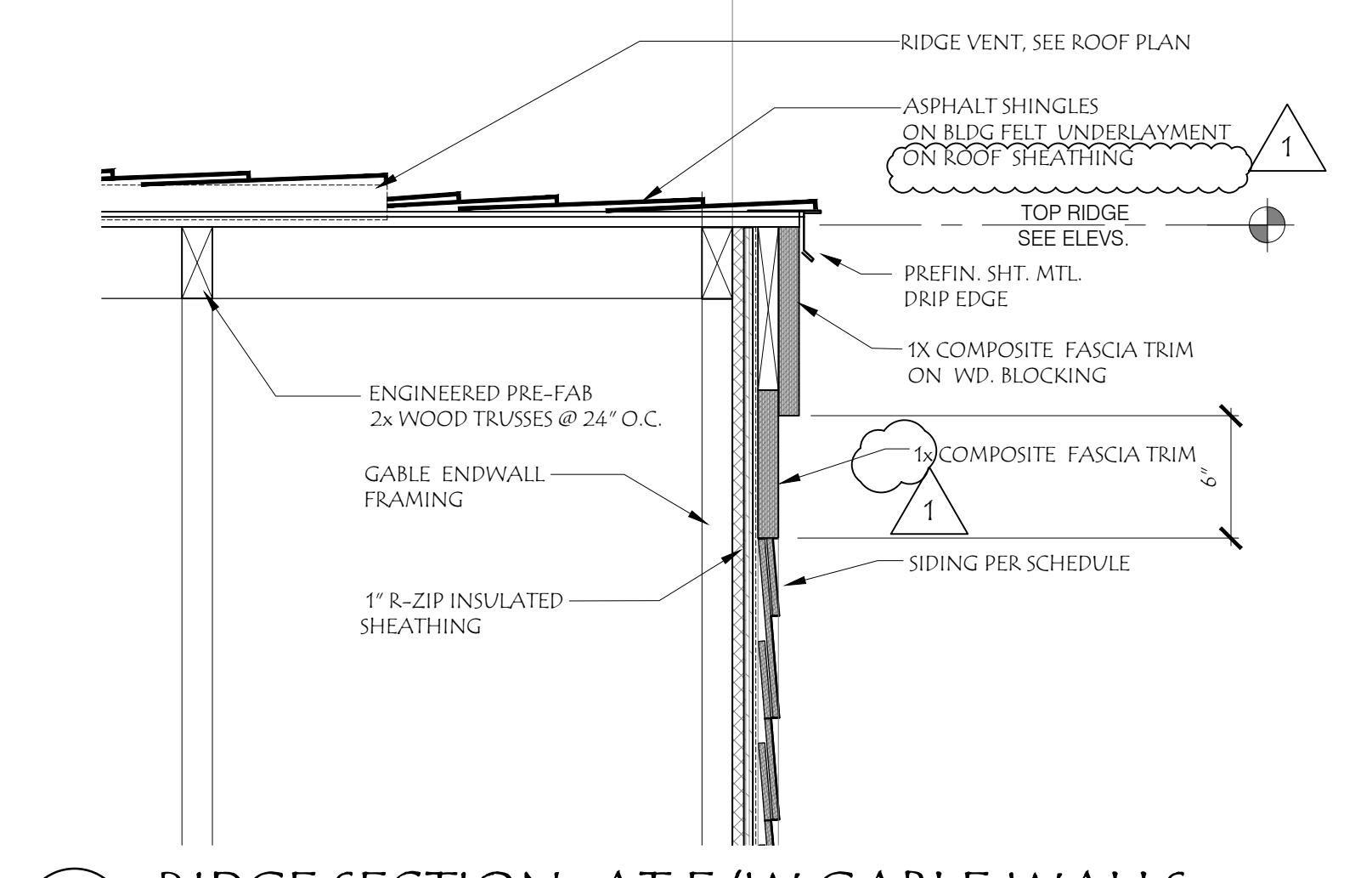
**REFLECTED CEILING PLAN-AREA B**  
 1/4" = 1'-0"  
 PLAN NORTH

NOTE:  
 1. ALL CEILING HEIGHTS ARE 9'-0 1/2" UNLESS OTHERWISE NOTED.  
 2. SEE TYP. SOFFIT DETAILS ON SHEET A6.00 FOR SOFFITS "A", "B" & "C".

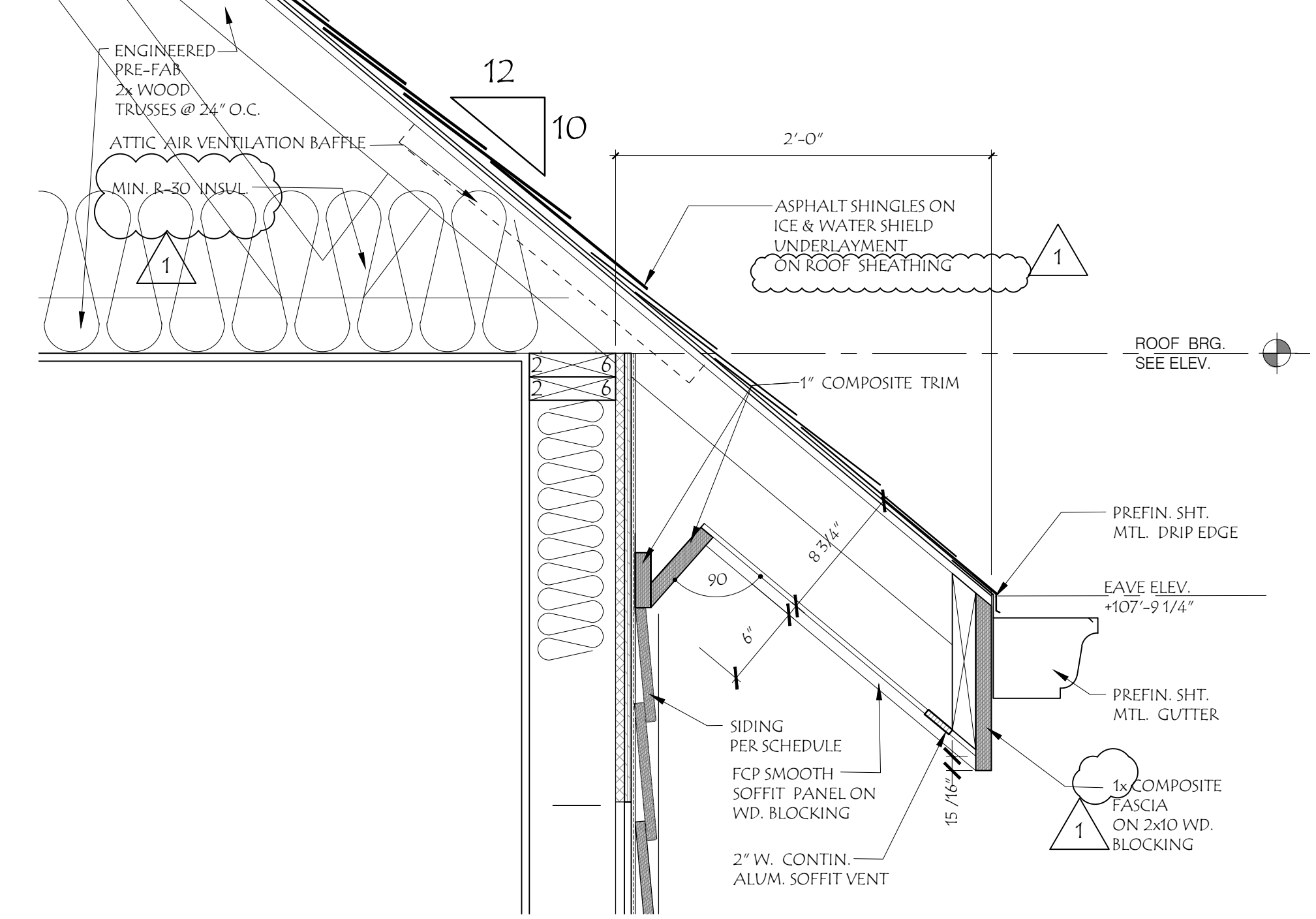




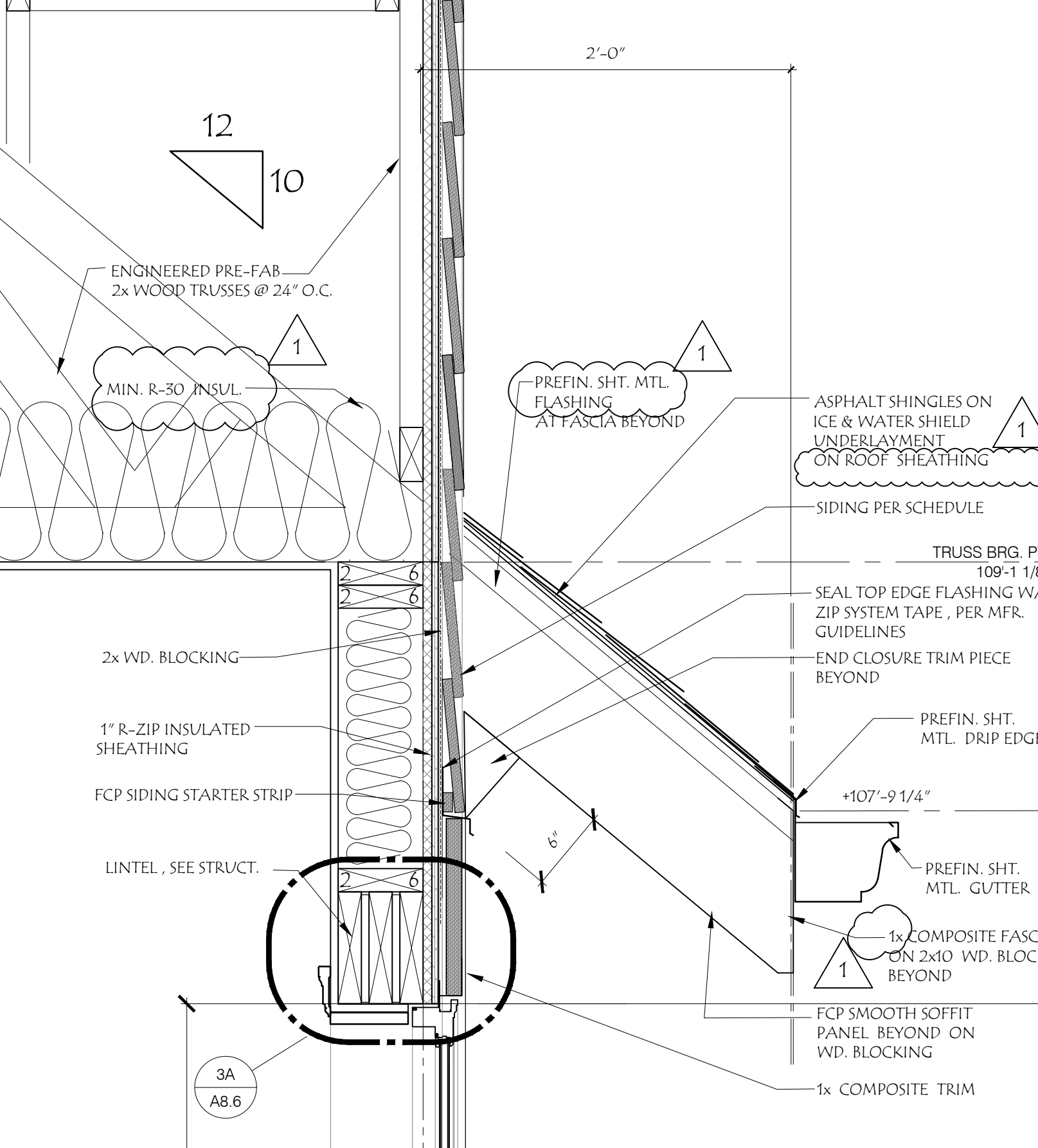
9 SECTION @ GABLE SOUTH WALL  
SCALE: 1 1/2" = 1'-0"



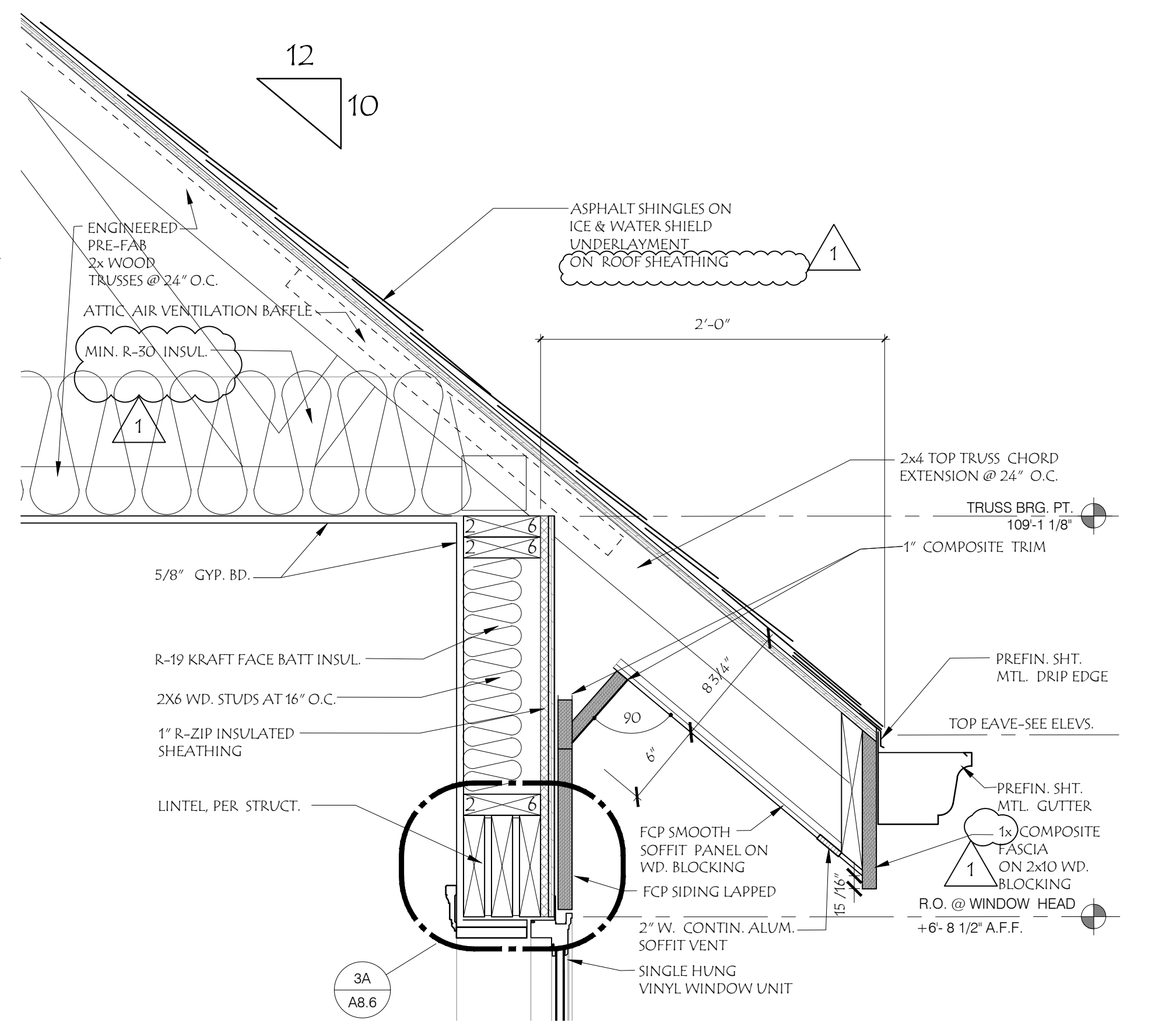
6 RIDGE SECTION AT E/W GABLE WALLS  
SCALE: 1 1/2" = 1'-0"



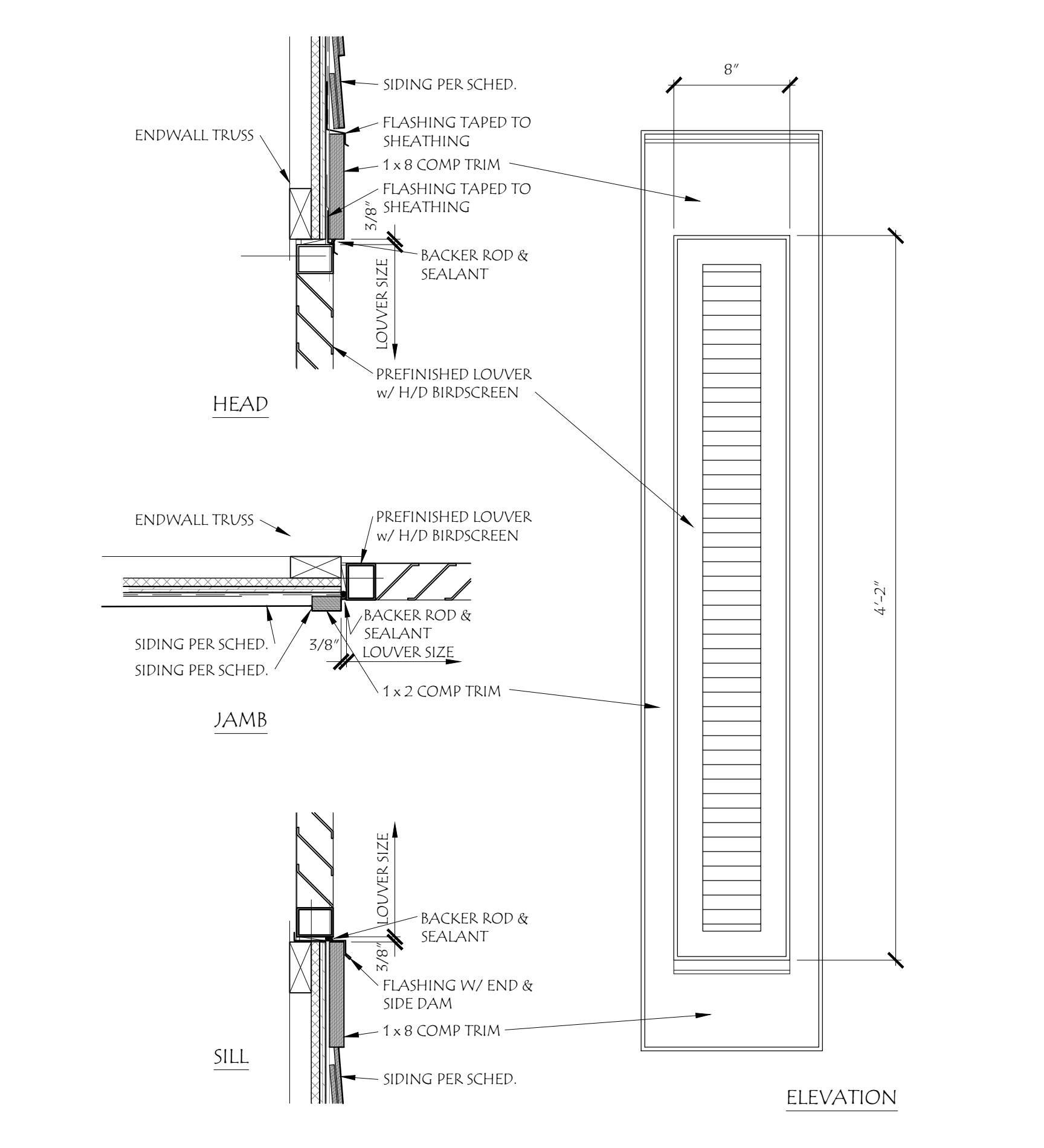
3 EAVE AT SIDEWALL  
SCALE: 1 1/2" = 1'-0" (EAST & WEST ELEV.)



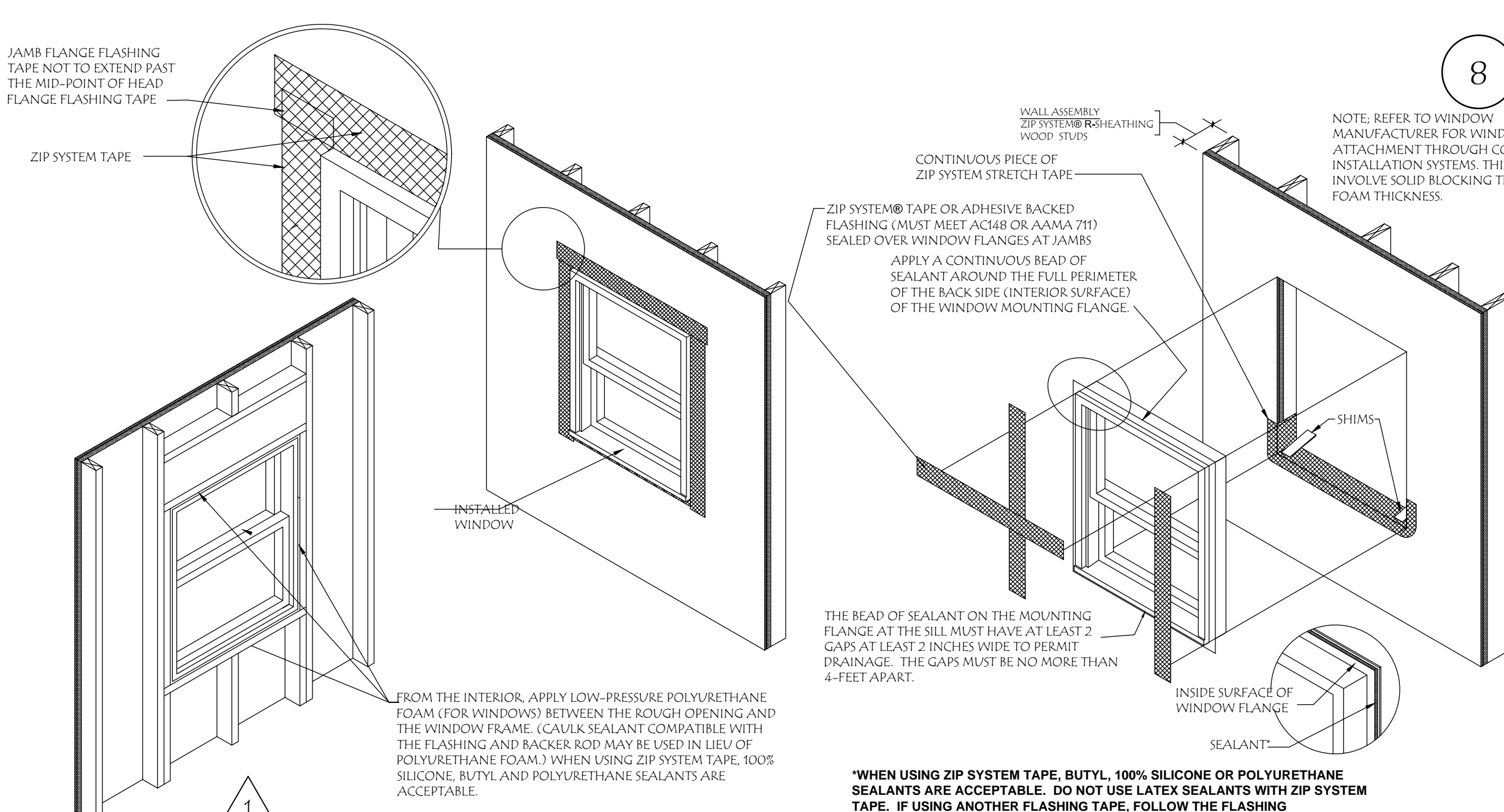
5 SECTION AT E/W GABLE WALLS  
SCALE: 1 1/2" = 1'-0"



2 EAVE AT SIDEWALL WINDOW  
SCALE: 1 1/2" = 1'-0" (EAST & WEST ELEV.)

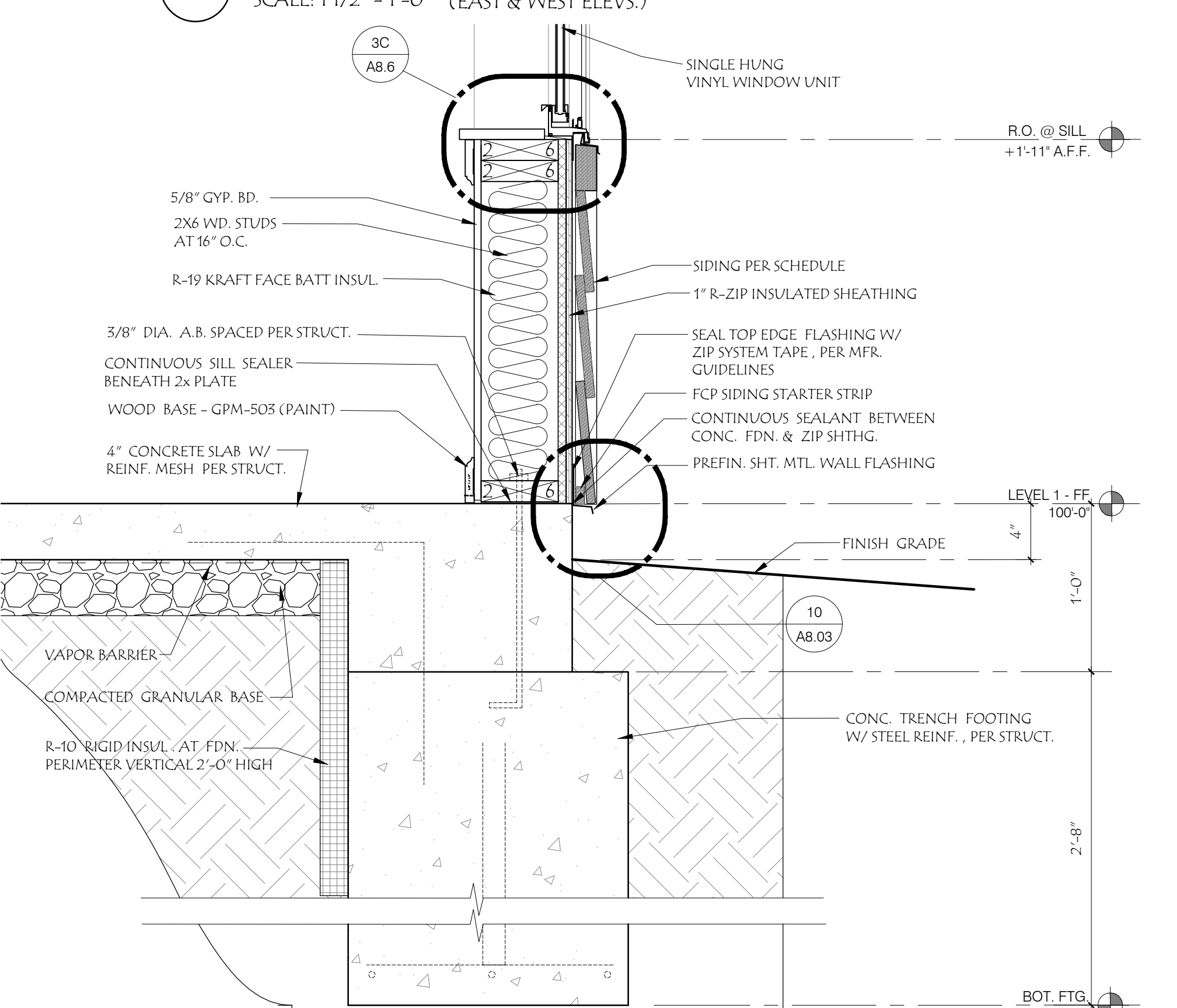


7 TYPICAL WALL LOUVER  
SCALE: 1 1/2" = 1'-0"



4 TYPICAL WINDOW OPENING MEMBRANE FLASHING  
SCALE: NOT TO SCALE

8 DETAIL RELOCATED TO A8.06  
NOT USED



1 WALL SILL AT GRADE  
SCALE: 1 1/2" = 1'-0" (EAST & WEST ELEV.)

WALL SECTION NOTES

- A PRECONSTRUCTION CONFERENCE IS REQUIRED PRIOR TO INSTALLATION OF ALL EXPOSED CONDUITS, BOXES & DEVICES TO REVIEW ROUTING & LOCATIONS OF DEVICES IN CONJUNCTION WITH AREAS INDICATED TO HAVE AN EXPOSED STRUCTURE.
- MIN. INSULATION WITHIN EXTERIOR WALLS TO BE OVERLAPPED 1'-0" MIN. VERTICALLY ABOVE THE ADJACENT ROOF/ CEILING.
- WHETHER SHOWN ON THE DRAWINGS OR NOT, THE GENERAL CONTRACTOR HAS SOLE RESPONSIBILITY TO ENSURE THAT AN AIRTIGHT SEAL BETWEEN THE ENTIRE ROOF PERIMETER CONNECTION TO THE EXTERIOR WALL CONSTRUCTION, ANY OTHER ROOF PENETRATIONS, OR OTHER PARTIAL HEIGHT WALL CONSTRUCTION IS MAINTAINED; WHETHER HIS OWN FORCES OR ANY OF THE MULTIPLE SUBCONTRACTORS UNDER HIS CONTROL INVOLVED IN THIS PORTION OF THE WORK.
- ALL EXTERIOR WALL SHEATHING SHOWN TO BE R-ZIP OR ZIP SHEATHING WITH ALL SEAMS, JOINTS OR PENETRATIONS TAPED AND ROLLED AIRTIGHT PER MANUFACTURER'S INSTRUCTIONS.
- STUD FRAMING CONTRACTOR RESPONSIBILITY FOR PERFORMING THE WORK HAVE SOLE RESPONSIBILITY TO INSTALL ALL APPROVED FIRESTOPPING MATERIAL IN ACCORDANCE WITH THE IBC BUILDING CODE WHETHER SHOWN ON THE DRAWINGS OR NOT.
  - TWO - INCH NOMINAL LUMBER.
  - TWO THICKNESS OF 1-INCH NOMINAL LUMBER WITH BROKEN LAP JOINTS.
  - ONE THICKNESS OF 0.719-INCH WOOD STRUCTURAL PANELS WITH JOINTS BACKED BY 0.719-INCH WOOD STRUCTURAL PANELS
  - ONE THICKNESS OF 0.75-INCH PARTICLEBOARD WITH JOINTS BACKED BY 0.75-INCH PARTICLEBOARD.
  - ONE-HALF-INCH GYPSUM BOARD.
  - ONE-FOURTH-INCH CEMENT-BASED MILLBOARD.
  - BATTS OR BLANKETS OF MINERAL WOOL, MINERAL FIBER OR OTHER APPROVED MATERIALS INSTALLED IN SUCH A MANNER AS TO BE SECURELY RETAINED IN PLACE.
  - FIBERGLASS INSULATION INSTALLED AS TESTED FOR THE SPECIFIC APPLICATION.
- FIRE-BLOCKING SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS:
  - CONCEALED WALL SPACES OF STUDS AND PARTITIONS, INCLUDING FURRED SPACES AND PARALLEL ROWS OF STUDS OR STAGGERED STUDS VERTICALLY AT THE CEILING AND THE FLOOR LEVELS AND HORIZONTALLY AT INTERVALS NOT EXCEEDING TO FEET.
  - INTERCONNECTIONS BETWEEN CONCEALED VERTICAL STUD WALL OR PARTITION SPACES AND CONCEALED HORIZONTAL SPACES CREATED BY AN ASSEMBLY OF FLOOR JOISTS OR TRUSSES, AND BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES AS OCCUR IN SOFFITS, DROP CEILINGS, COVE CEILINGS AND SIMILAR LOCATIONS.
  - IN CONCEALED SPACES BETWEEN STAIR STRINGERS AND THE TOP AND BOTTOM OF THE RUN.
  - ANNULAR SPACE AROUND VENTS, PIPES, DUCTS, CHIMNEYS AND FIREPLACES AT CEILING AND FLOOR LEVELS SHALL BE INSTALLED WITH A MATERIAL SPECIFICALLY TESTED IN THE FORM AND MANNER INTENDED FOR USE TO DEMONSTRATE ITS ABILITY TO REMAIN IN PLACE AND RESIST THE FREE PASSAGE OF FLAME AND THE PRODUCTS OF COMBUSTION.
    - A FACTORY-BUILT CHIMNEYS AND FIREPLACES SHALL BE FIRE-BLOCKED IN ACCORDANCE WITH UL 103 AND UL127.
  - WITHIN CONCEALED SPACE OF EXTERIOR WALL COVERINGS AND OTHER EXTERIOR ARCHITECTURAL ELEMENTS WITH COMBUSTIBLE CONSTRUCTION. FIRE-BLOCKING SHALL BE INSTALLED AT MAXIMUM INTERVALS OF 20 FEET IN EITHER DIMENSION SO THAT THERE WILL BE NO CONCEALED SPACE EXCEEDING 100 SQUARE FEET BETWEEN FIRE-BLOCKING.
  - WHERE WOOD FURRING STRIPS ARE USED, THEY SHALL BE OF APPROVED WOOD OF NATURAL DECAY RESISTANCE OF PRESERVATIVE-TREATED WOOD. IF NONCONTINUOUS, SUCH ELEMENTS SHALL HAVE CLOSED ENDS WITH NOT LESS THAN 4 INCHES OF SEPARATION BETWEEN SECTIONS.
  - WHERE WOOD SLEEPERS ARE USED FOR LAYING WOOD FLOORING ON MASONRY OR CONCRETE FIRE-RESISTANCE RATED FLOORING, THE SPACE BETWEEN THE FLOOR SLAB AND THE UNDERSIDE OF THE WOOD FLOORING SHALL BE FILLED WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME OR FIRE-BLOCKED IN SUCH A MANNER THAT THERE WILL BE NO OPEN SPACES UNDER THE FLOORING THAT WILL EXCEED 100 SQUARE FEET IN AREA AND SUCH SPACE SHALL BE FILLED SOLIDLY UNDER PERMANENT PARTITIONS SO THAT THERE IS NO COMMUNICATION UNDER THE FLOORING BETWEEN ADJOINING ROOMS.
- DRAFTSTOPPING IN ATTICS IN COMBUSTIBLE CONSTRUCTION SHALL BE INSTALLED TO SUBDIVIDE ATTIC SPACES AND CONCEALED ROOF SPACES.
  - DRAFTSTOPPING MATERIALS SHALL BE NOT LESS THAN 1/2-INCH GYPSUM BOARD, 3/8-INCH WOOD STRUCTURAL PANEL 3/8-INCH PARTICLE BOARD, 1-INCH NOMINAL LUMBER, CEMENT FIBERBOARD, BATTS OR BLANKETS OF MINERAL WOOL OR GLASS FIBER, OR OTHER APPROVED MATERIALS.

IN THE FOLLOWING LOCATIONS:

- ALL OTHER USE GROUPS DRAFTSTOPPING SHALL BE INSTALLED IN ATTICS AND CONCEALED ROOF SPACES, SUCH THAT ANY HORIZONTAL AREA DOES NOT EXCEED 3,000 SQUARE FEET.
  - DRAFTSTOPPING IS NOT REQUIRED IN BUILDING EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH NFPA 15.
- ALL ROOF SHEATHING TO BE 1/2" APA FIR PLYWOOD SHEATHING W/ CLIPS.

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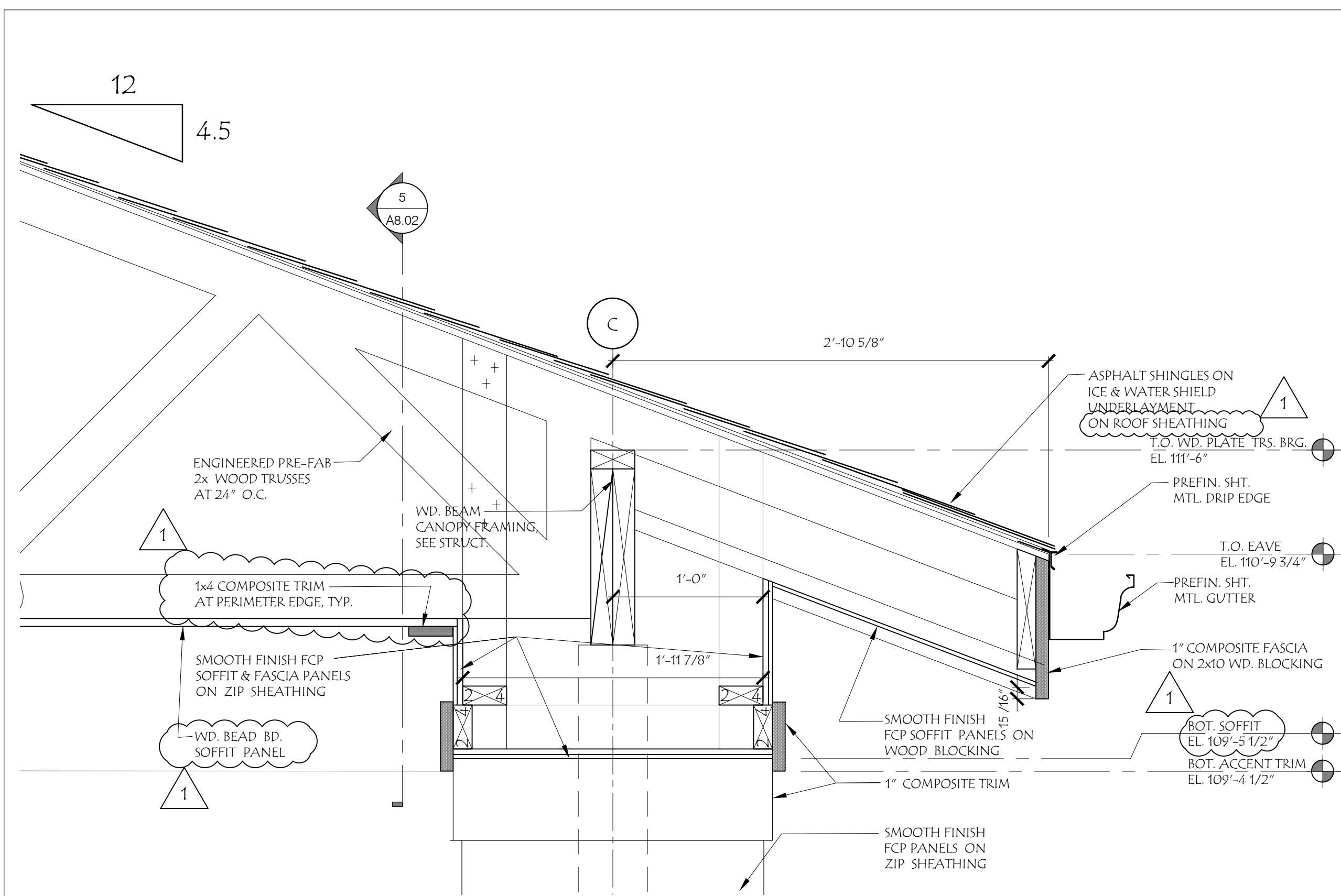
BID / PERMIT / CONST. 05/23/19  
ADDENDUM 1 06/12/19

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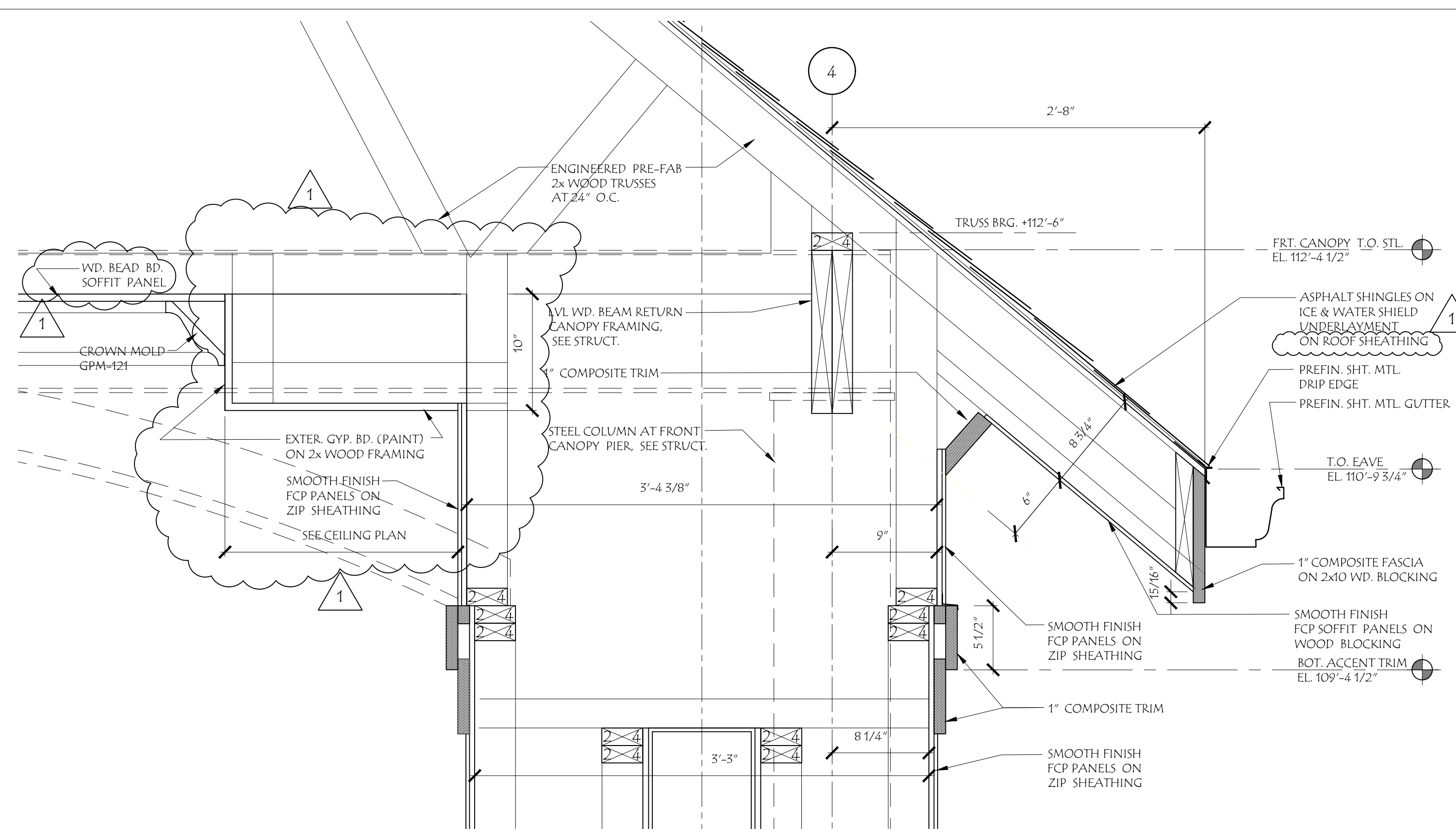
WALL  
DETAILS

**A8.01**

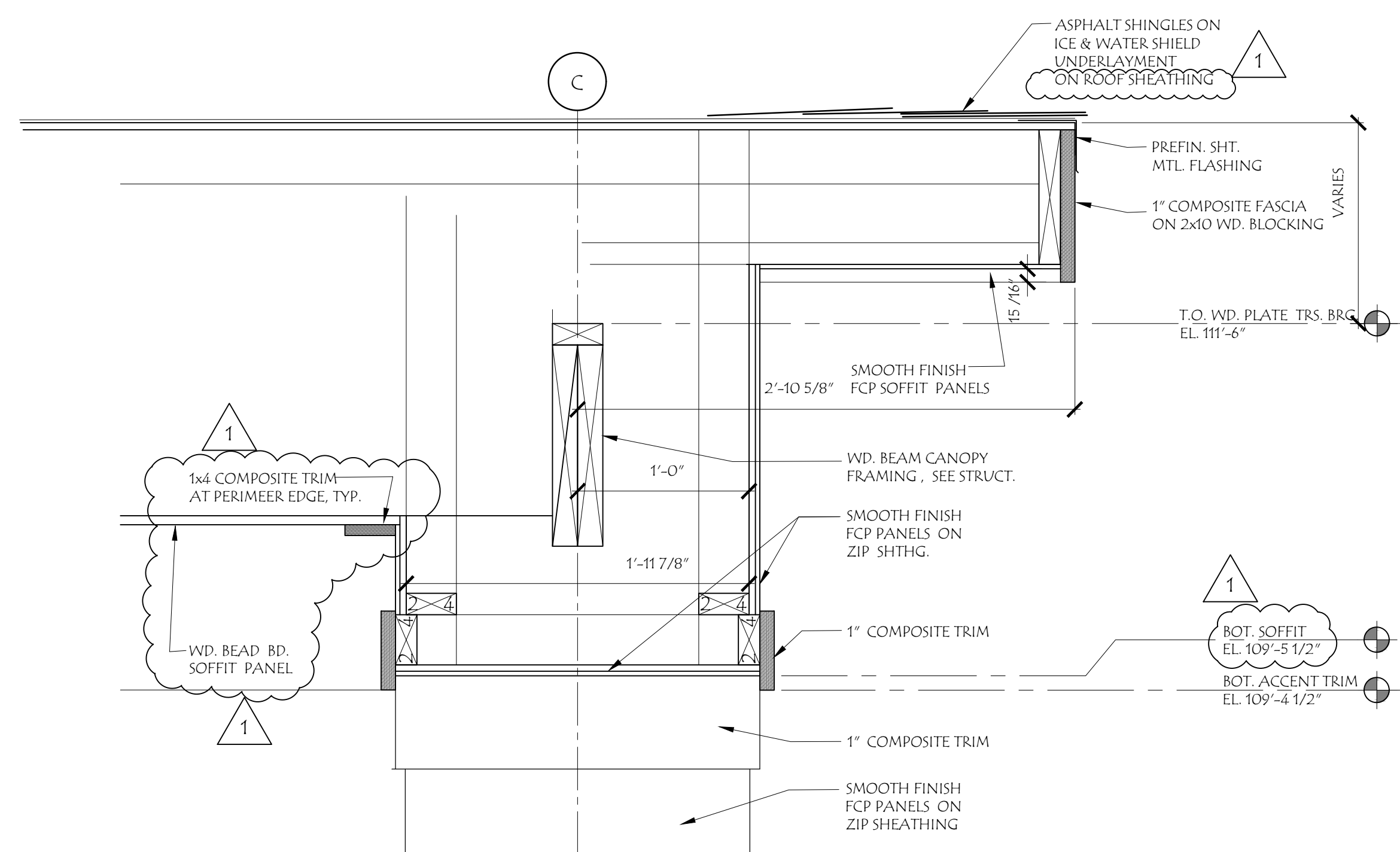




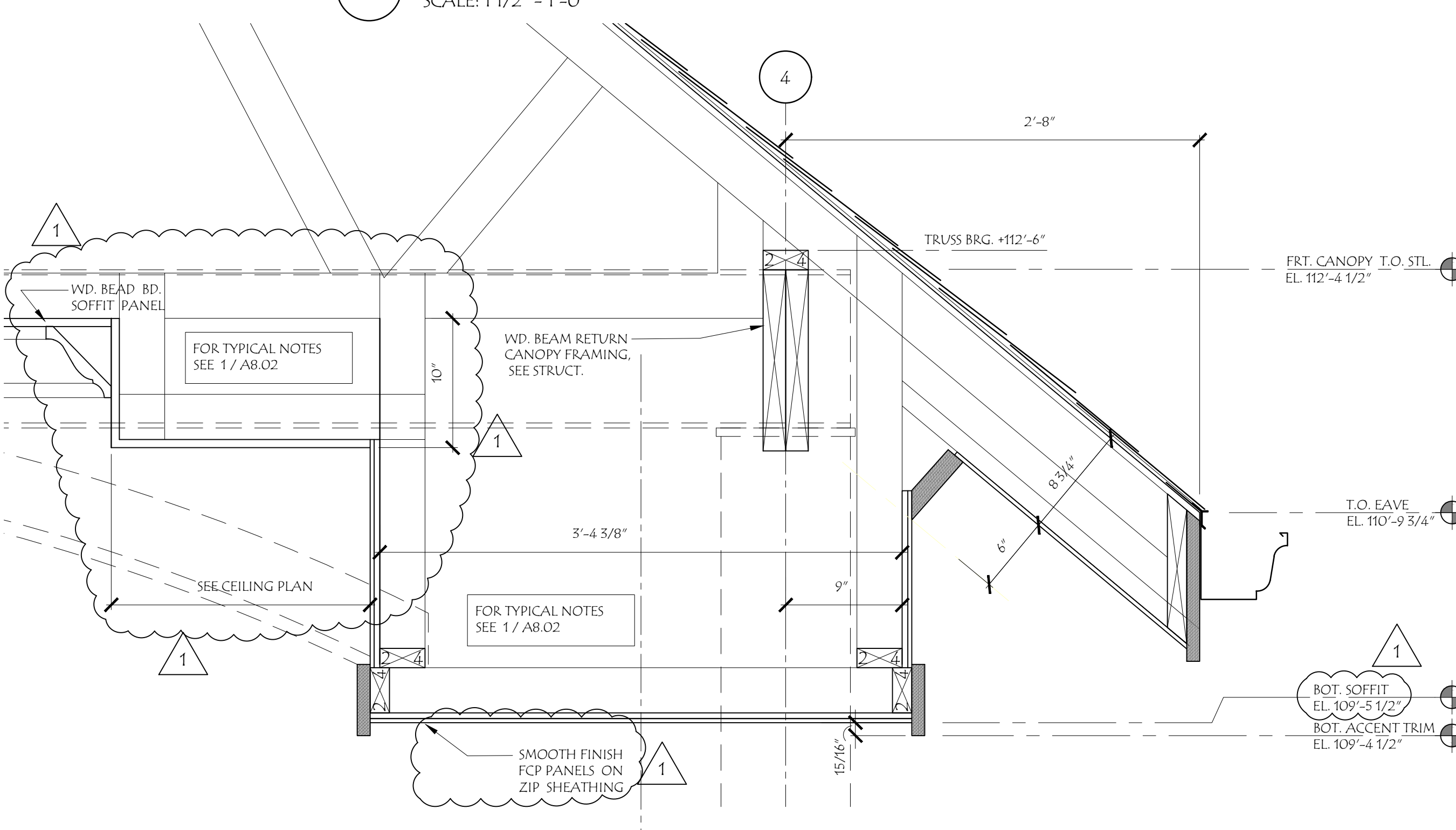
**4 FRONT SIDE PORCH EAVE**  
SCALE: 1 1/2" = 1'-0"



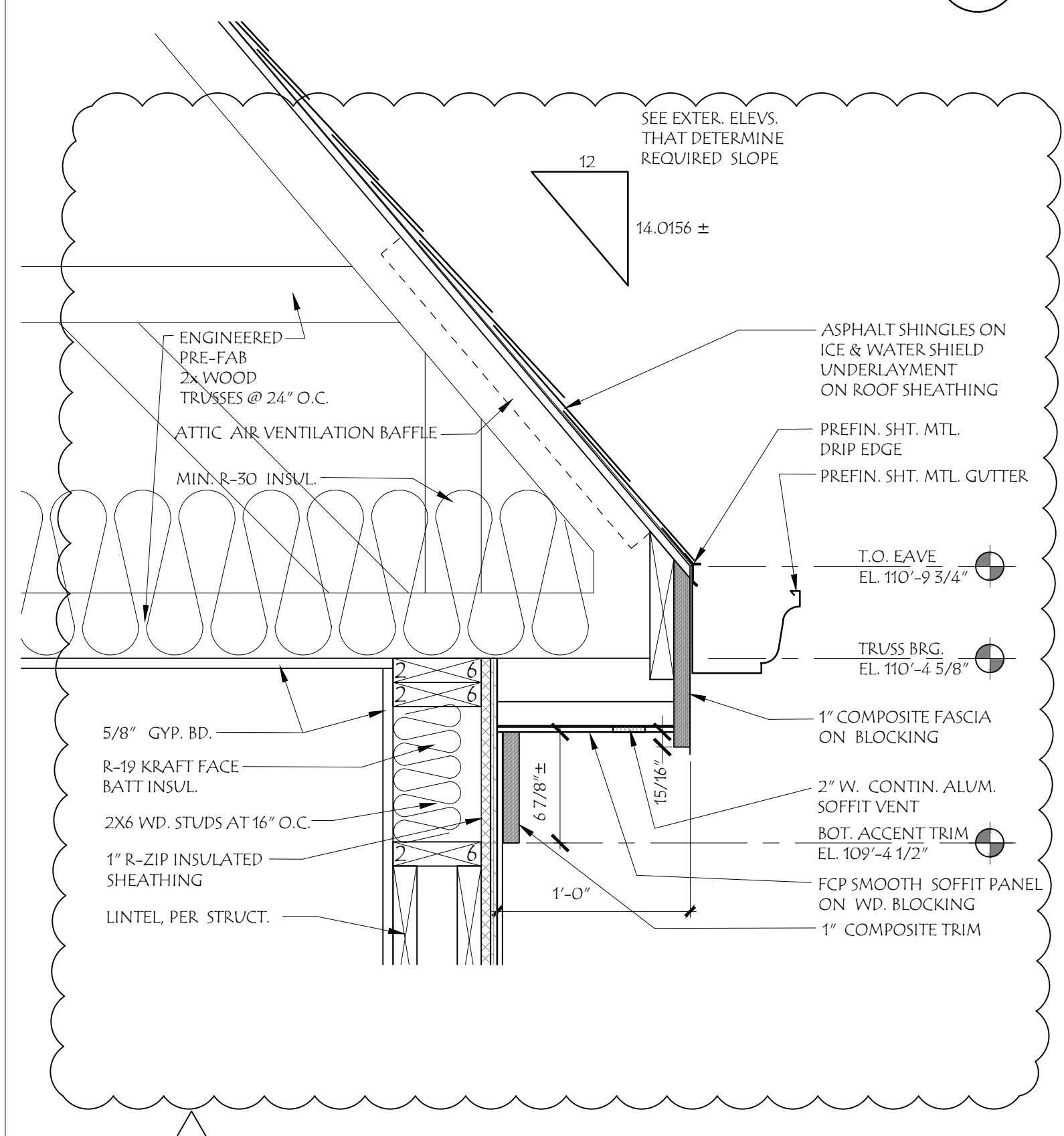
**1 MAIN ENTRY EAVE THRU COLUMN**  
SCALE: 1 1/2" = 1'-0"



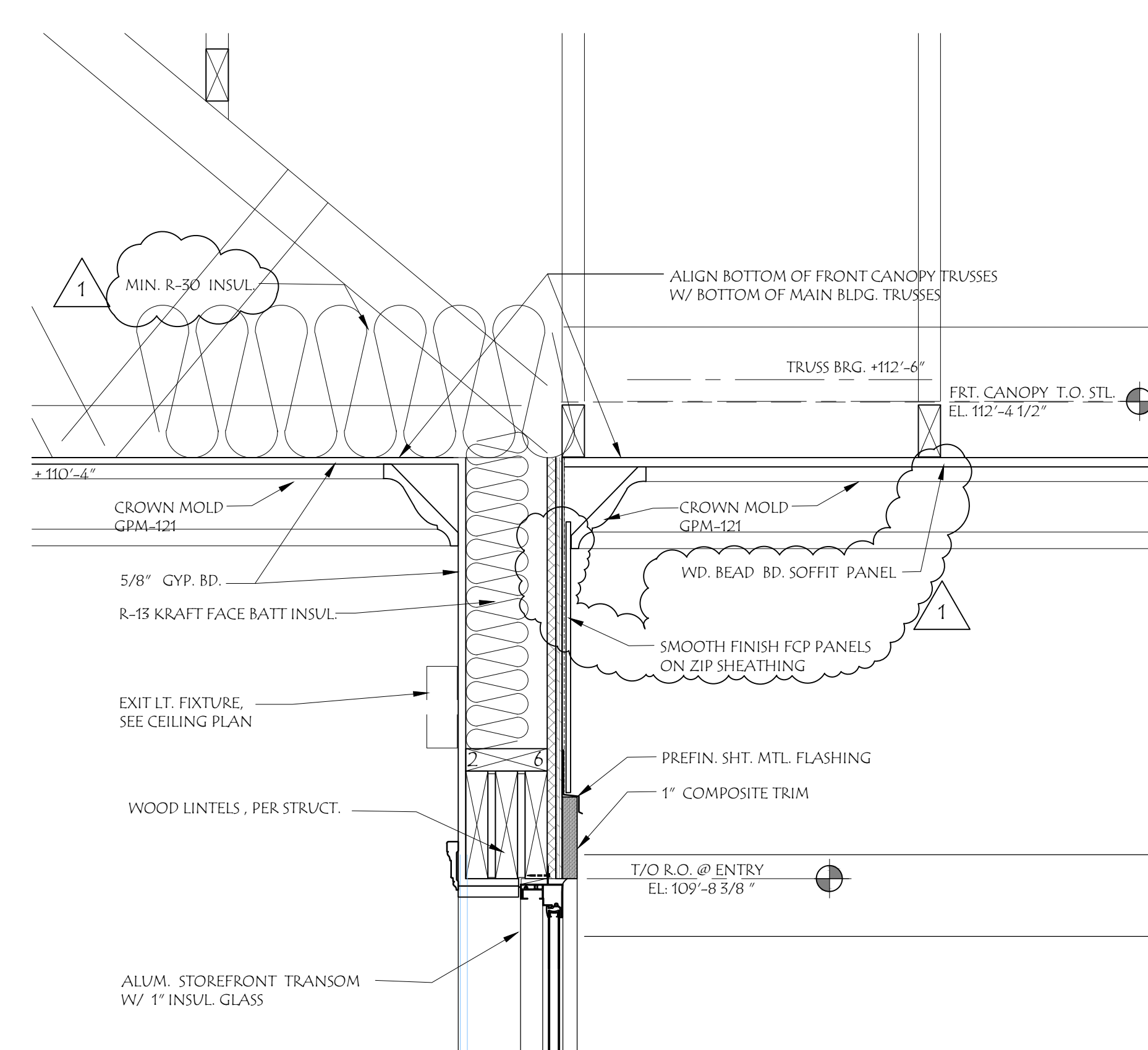
**5 FRONT SIDE PORCH END DETAIL**  
SCALE: 1 1/2" = 1'-0"



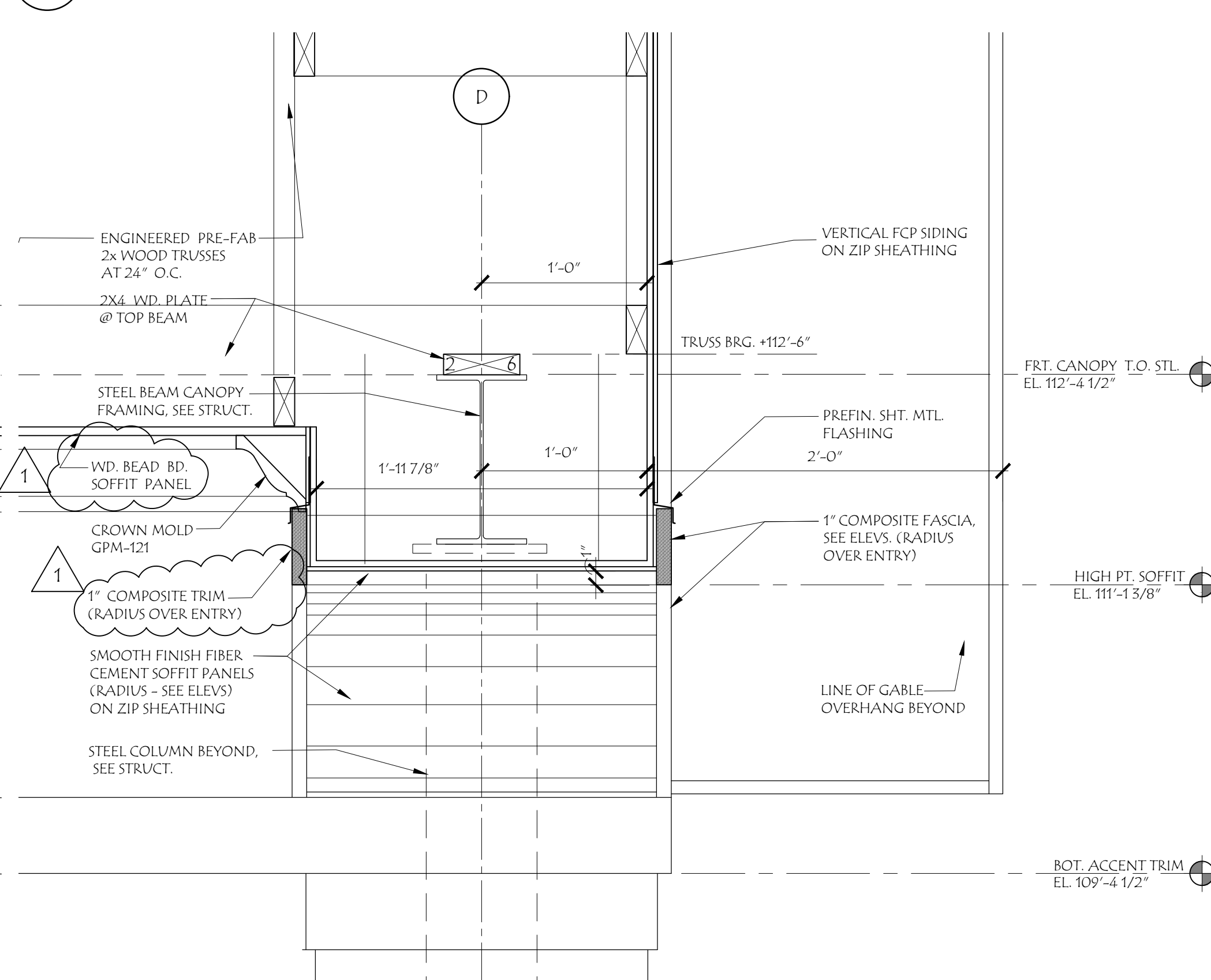
**2 MAIN ENTRY EAVE**  
SCALE: 1 1/2" = 1'-0"



**7 BAY WINDOW EAVE PROFILE**  
SCALE: 1 1/2" = 1'-0"



**6 MAIN ENTRY DOOR SOFFIT**  
SCALE: 1 1/2" = 1'-0"



**3 MAIN ENTRY GABLE SOFFIT**  
SCALE: 1 1/2" = 1'-0"

**WALL SECTION NOTES**

1. A PRECONSTRUCTION CONFERENCE IS REQUIRED PRIOR TO INSTALLATION OF ALL EXPOSED CONDUITS, BOXES & DEVICES TO REVIEW ROUTING & LOCATIONS OF DEVICES IN CONJUNCTION WITH AREAS INDICATED TO HAVE AN EXPOSED STRUCTURE.
2. WALL INSULATION WITHIN EXTERIOR WALLS TO BE OVERLAPPED 1'-0" MIN. VERTICALLY ABOVE THE ADJACENT ROOF/ CEILING.
3. WHETHER SHOWN ON THE DRAWINGS OR NOT, THE GENERAL CONTRACTOR HAS SOLE RESPONSIBILITY TO ENSURE THAT AN AIRTIGHT SEAL BETWEEN THE ENTIRE ROOF PERIMETER CONNECTION TO THE EXTERIOR WALL CONSTRUCTION, ANY OTHER ROOF PENETRATIONS, OR OTHER PARTIAL HEIGHT WALL CONSTRUCTION IS MAINTAINED; WHETHER HIS OWN FORCES OR ANY OF THE MULTIPLE SUBCONTRACTORS UNDER HIS CONTROL INVOLVED IN THIS PORTION OF THE WORK.
4. ALL EXTERIOR WALL SHEATHING SHOWN TO BE R-ZIP OR ZIP SHEATHING WITH ALL SEAMS, JOINTS OR PENETRATIONS TAPED AND ROLLED AIRTIGHT PER MANUFACTURER'S INSTRUCTIONS.
5. STUD FRAMING CONTRACTOR RESPONSIBILITY FOR PERFORMING THE WORK HAVE SOLE RESPONSIBILITY TO INSTALL ALL APPROVED FIRESTOPPING MATERIAL IN ACCORDANCE WITH THE IBC BUILDING CODE WHETHER SHOWN ON THE DRAWINGS OR NOT.
6. FIRE-BLOCKING AND DRAFTSTOPPING SHALL BE INSTALLED IN COMBUSTIBLE CONCEALED LOCATIONS INSTALLED TO CUT-OFF CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND SHALL FORM AN EFFECTIVE BARRIER BETWEEN FLOORS, BETWEEN A TOP STORY AND A ROOF ATTIC SPACE. FIRE BLOCKING SHALL CONSIST OF:
  - a. TWO - ONE INCH NOMINAL LUMBER.
  - b. TWO THICKNESS OF 1-INCH NOMINAL LUMBER WITH BROKEN LAP JOINTS.
  - c. ONE THICKNESS OF 0.719-INCH WOOD STRUCTURAL PANELS WITH JOINTS BACKED BY 0.719-INCH WOOD STRUCTURAL PANELS.
  - d. ONE THICKNESS OF 0.75-INCH PARTICLEBOARD WITH JOINTS BACKED BY 0.75-INCH PARTICLEBOARD.
  - e. ONE-HALF-INCH GYPSUM BOARD.
  - f. ONE-FOURTH-INCH CEMENT-BASED MILLBOARD.
  - g. BATTS OR BLANKETS OF MINERAL WOOL, MINERAL FIBER OR OTHER APPROVED MATERIALS INSTALLED IN SUCH A MANNER AS TO BE SECURELY RETAINED IN PLACE.
  - h. FIBERGLASS INSULATION INSTALLED AS TESTED FOR THE SPECIFIC APPLICATION.
7. FIRE-BLOCKING SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS:
  1. CONCEALED WALL SPACES OF STUDS AND PARTITIONS, INCLUDING FURRED SPACES, AND PARALLEL ROWS OF STUDS OR STAGGERED STUDS VERTICALLY AT THE CEILING AND THE FLOOR LEVELS AND HORIZONTALLY AT INTERVALS NOT EXCEEDING 10 FEET.
  2. INTERCONNECTIONS BETWEEN CONCEALED VERTICAL STUD/ WALL OR PARTITION SPACES AND CONCEALED HORIZONTAL SPACES CREATED BY AN ASSEMBLY OF FLOOR JOISTS OR TRUSSES, AND BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES AS OCCUR IN SOFFITS, DROP CEILINGS, COVE CEILINGS AND SIMILAR LOCATIONS.
  3. IN CONCEALED SPACES BETWEEN STAIR STRINGERS AND THE TOP AND BOTTOM OF THE RUN.
  4. ANNULAR SPACE AROUND VENTS, PIPES, DUCTS, CHIMNEYS AND FIREPLACES AT CEILINGS AND FLOOR LEVELS SHALL BE INSTALLED WITH A MATERIAL SPECIFICALLY TESTED IN THE FORM AND MANNER INTENDED FOR USE TO DEMONSTRATE ITS ABILITY TO REMAIN IN PLACE AND RESIST THE FREE PASSAGE OF FLAME AND THE PRODUCTS OF COMBUSTION.
  5. WITHIN CONCEALED SPACE OF EXTERIOR WALL COVERINGS AND OTHER EXTERIOR ARCHITECTURAL ELEMENTS WITH COMBUSTIBLE CONSTRUCTION. FIRE-BLOCKING SHALL BE INSTALLED AT MAXIMUM INTERVALS OF 20 FEET IN EITHER DIRECTION SO THAT THERE WILL BE NO CONCEALED SPACE EXCEEDING 100 SQUARE FEET BETWEEN FIRE-BLOCKING.
  6. WHERE WOOD FURRING STRIPS ARE USED, THEY SHALL BE OF APPROVED WOOD OF NATURAL DECAY RESISTANCE OF PRESERVATIVE-TREATED WOOD. IF NONCONTINUOUS, SUCH ELEMENTS SHALL HAVE CLOSED ENDS, WITH NOT LESS THAN 4 INCHES OF SEPARATION BETWEEN SECTIONS.
  7. WHERE WOOD SLEEPERS ARE USED FOR LAYING WOOD FLOORING ON MASONRY OR CONCRETE FIRE-RESISTANCE RATED FLOORS, THE SPACE BETWEEN THE FLOOR SLAB AND THE UNDERSIDE OF THE WOOD FLOORING SHALL BE FILLED WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME OR FIRE-BLOCKED IN SUCH A MANNER THAT THERE WILL BE NO OPEN SPACES UNDER THE FLOORING THAT WILL EXCEED 100 SQUARE FEET IN AREA AND SUCH SPACE SHALL BE FILLED SOLIDLY UNDER PERMANENT PARTITIONS SO THAT THERE IS NO COMMUNICATION UNDER THE FLOORING BETWEEN ADJOINING ROOMS.
  8. DRAFTSTOPPING IN ATTICS IN COMBUSTIBLE CONSTRUCTION SHALL BE INSTALLED TO SUBDIVIDE ATTIC SPACES AND CONCEALED ROOF SPACES.
    1. DRAFTSTOPPING MATERIALS SHALL BE NOT LESS THAN 1/2-INCH GYPSUM BOARD, 3/8-INCH WOOD STRUCTURAL PANEL, 3/8-INCH PARTICLE BOARD, 1-INCH NOMINAL LUMBER, CEMENT FIBERBOARD, BATTS OR BLANKETS OF MINERAL WOOL OR GLASS FIBER, OR OTHER APPROVED MATERIALS.
    - IN THE FOLLOWING LOCATIONS:
      1. ALL OTHER USE GROUPS DRAFTSTOPPING SHALL BE INSTALLED IN ATTICS AND CONCEALED ROOF SPACES, SUCH THAT ANY HORIZONTAL AREA DOES NOT EXCEED 3,000 SQUARE FEET.
        - a. DRAFTSTOPPING IS NOT REQUIRED IN BUILDING EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH NFPA 15.
      2. ALL ROOF SHEATHING TO BE 1/2" APA FIR PLYWOOD SHEATHING W/ CLIPS.

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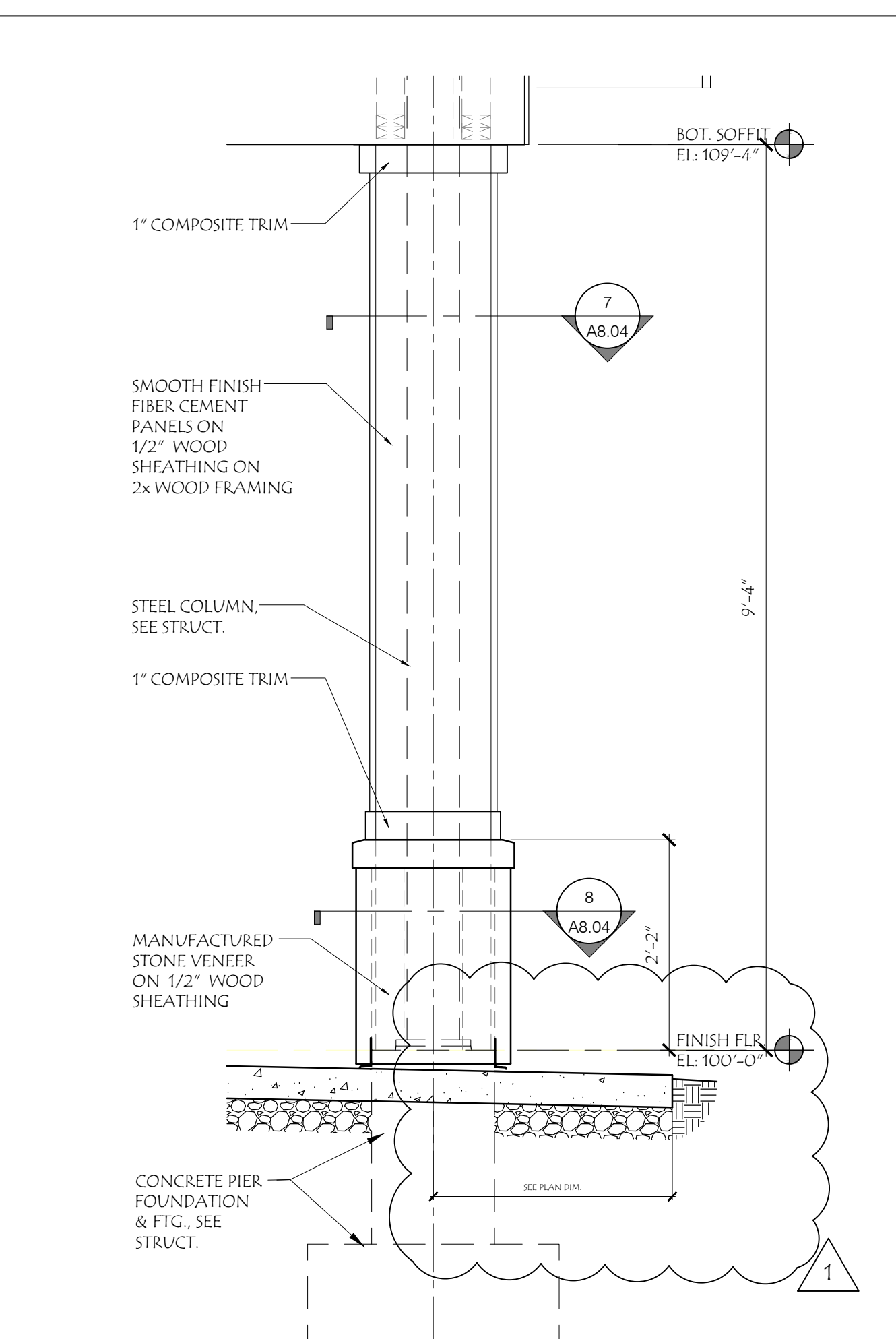
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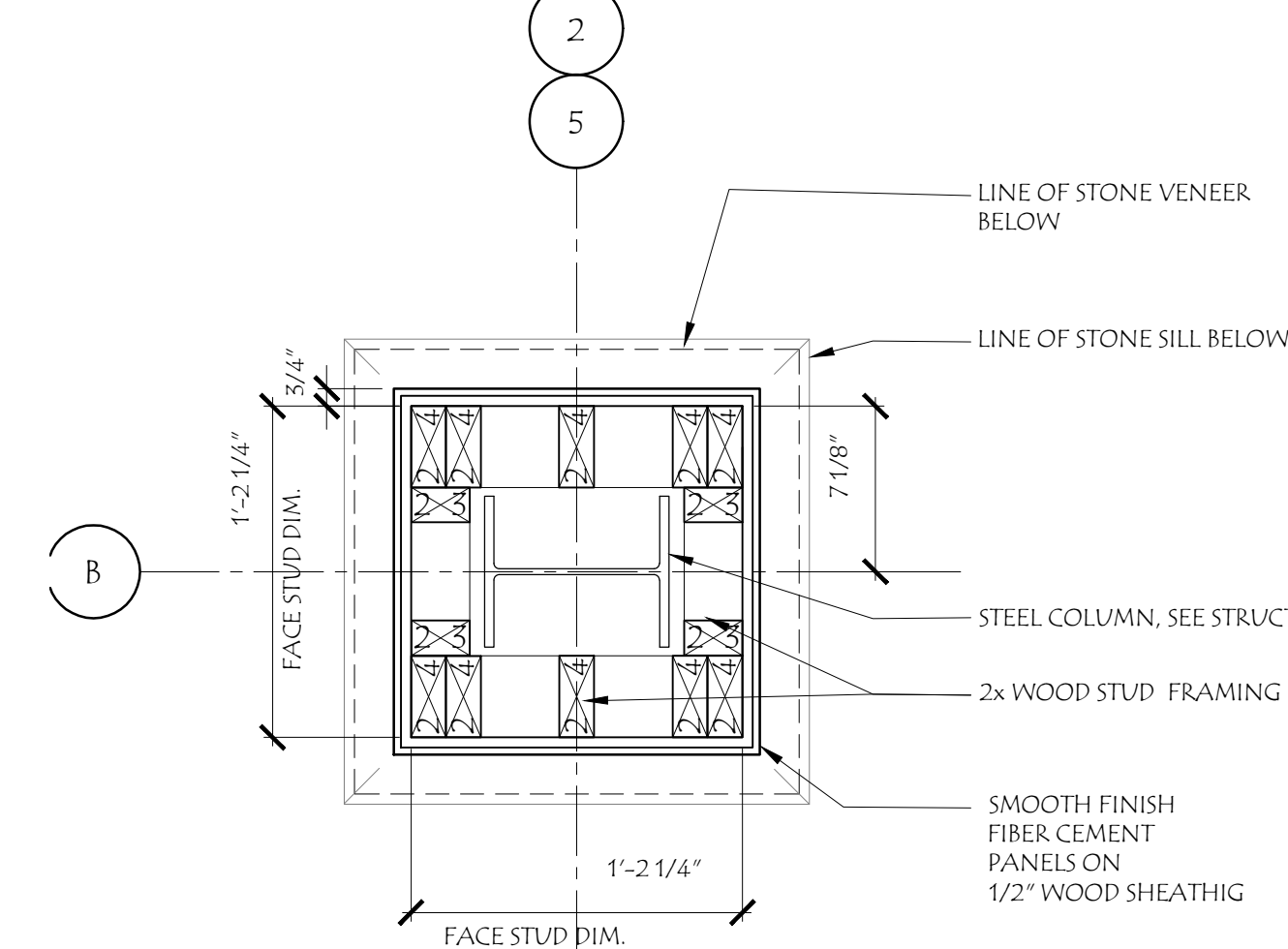
**WALL**  
**DETAILS**

**A8.02**

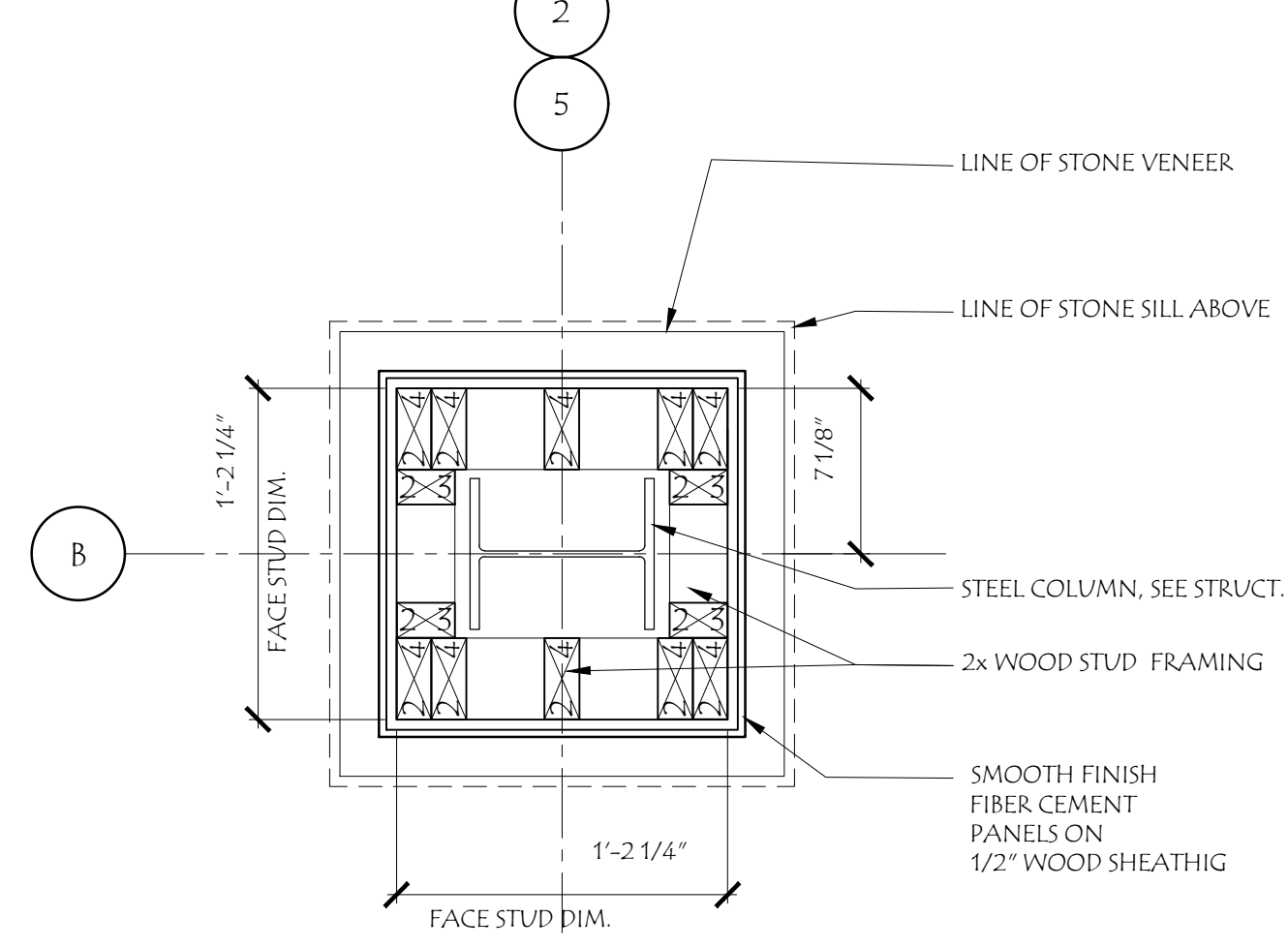




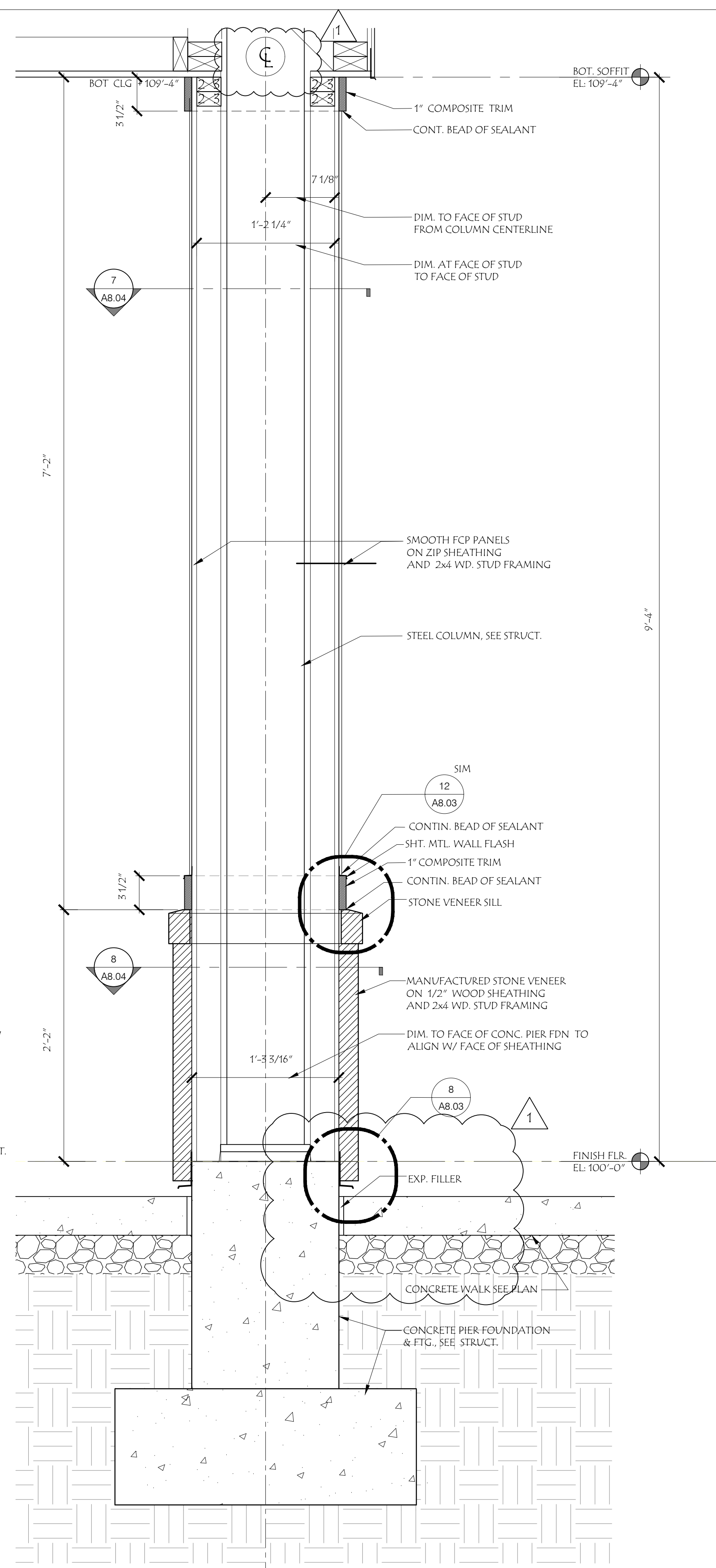
6 REAR CANOPY COL - ELEV  
SCALE: 3/4" = 1'-0"



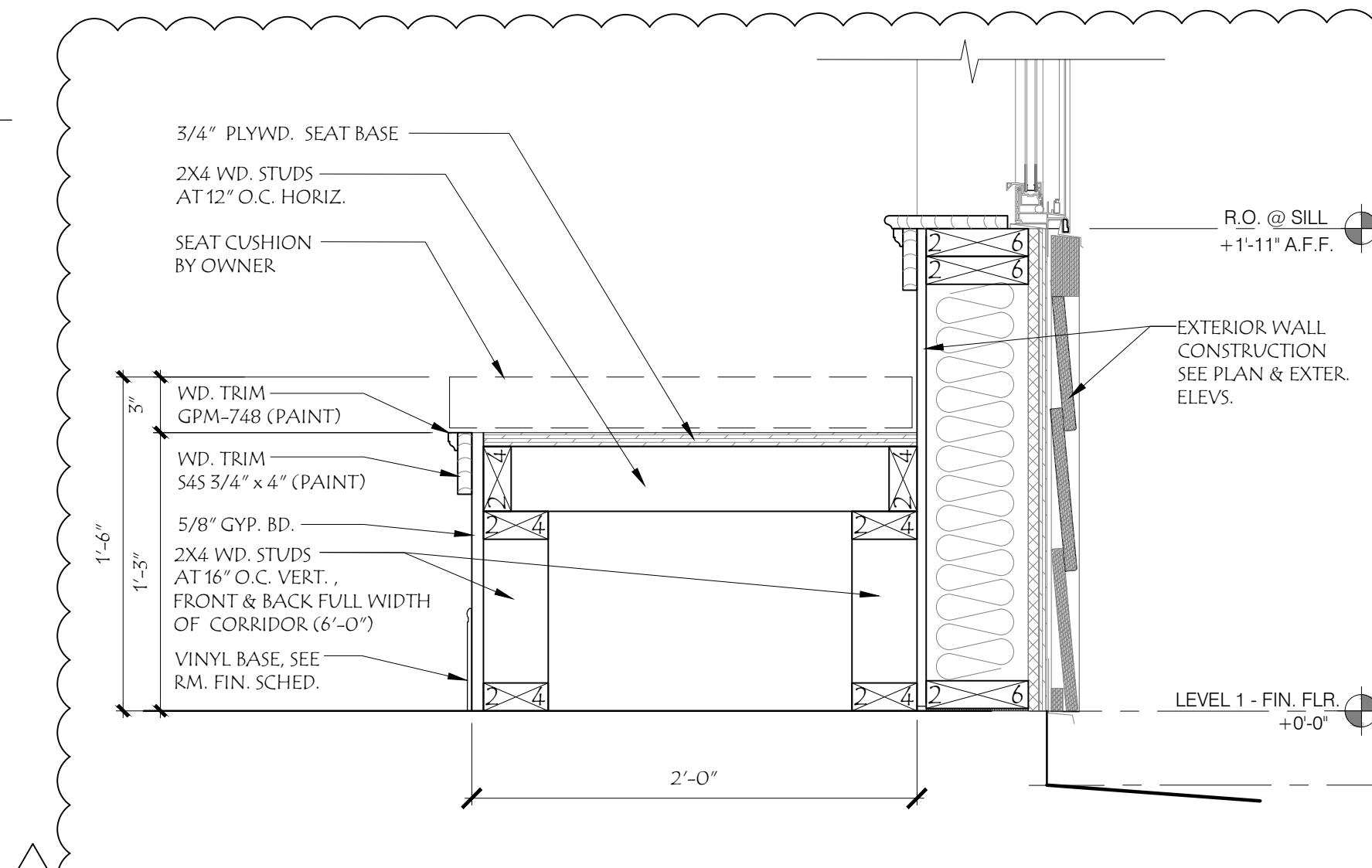
7 PLAN @ COL SHAFT  
SCALE: 1 1/2" = 1'-0"



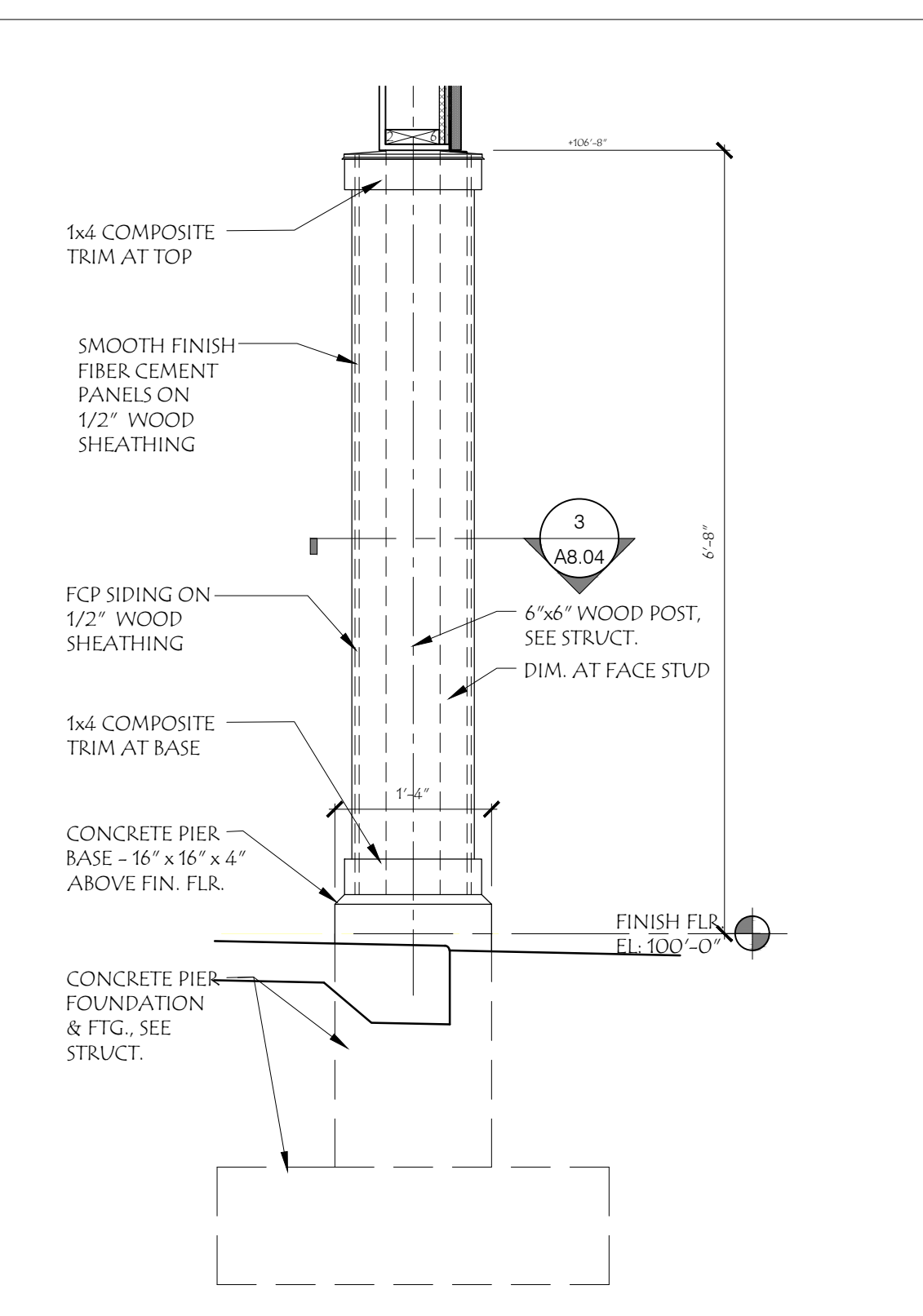
8 PLAN @ COL BASE  
SCALE: 1 1/2" = 1'-0"



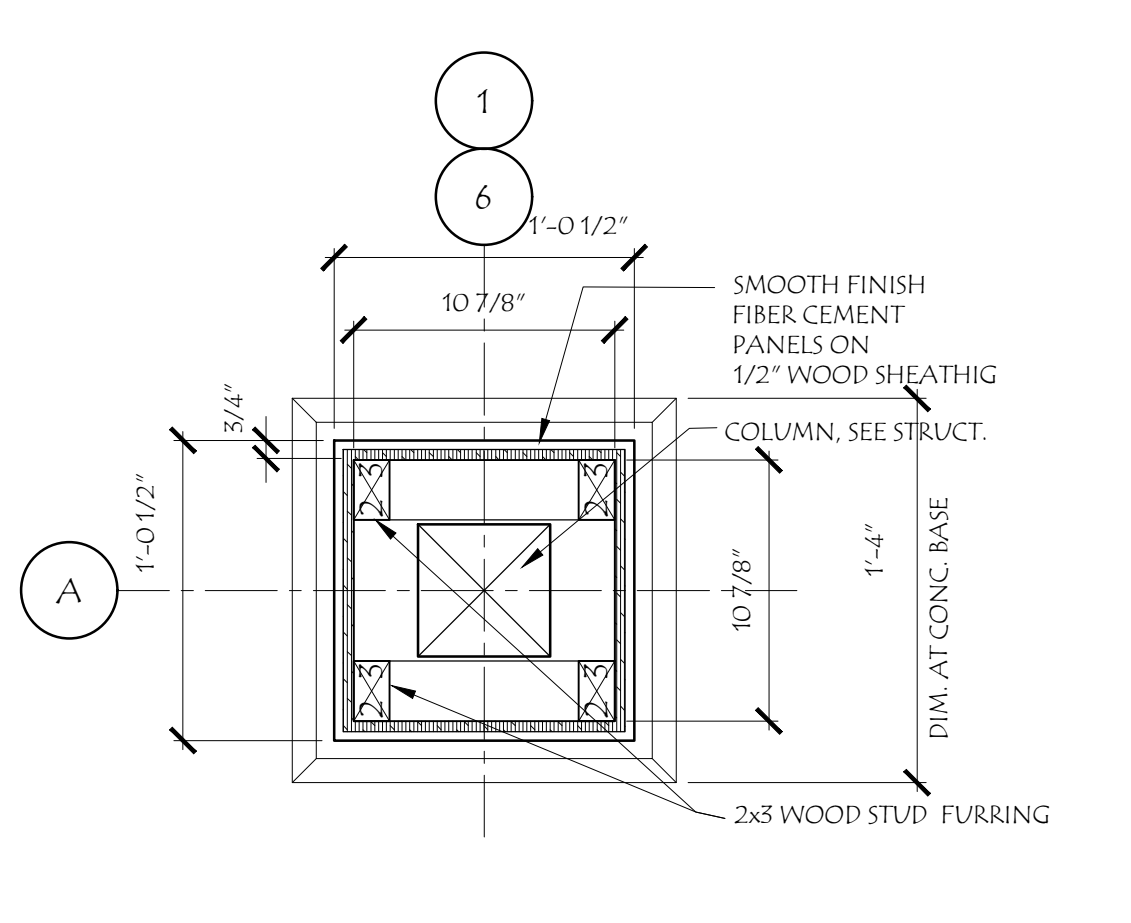
5 REAR CANOPY COL - SECTION  
SCALE: 1 1/2" = 1'-0"



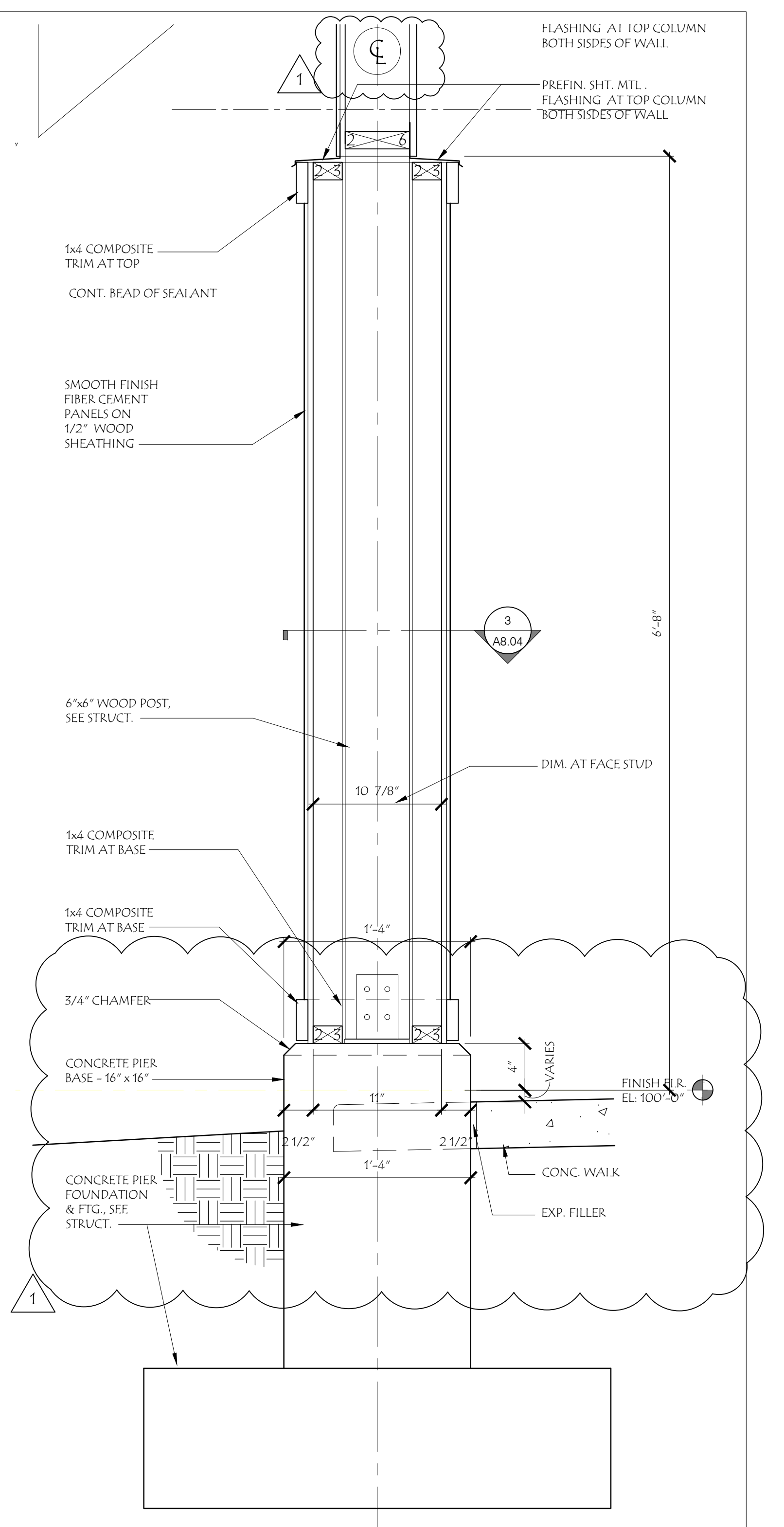
4 WINDOW SEAT SECTION  
1 1/2" = 1'-0"



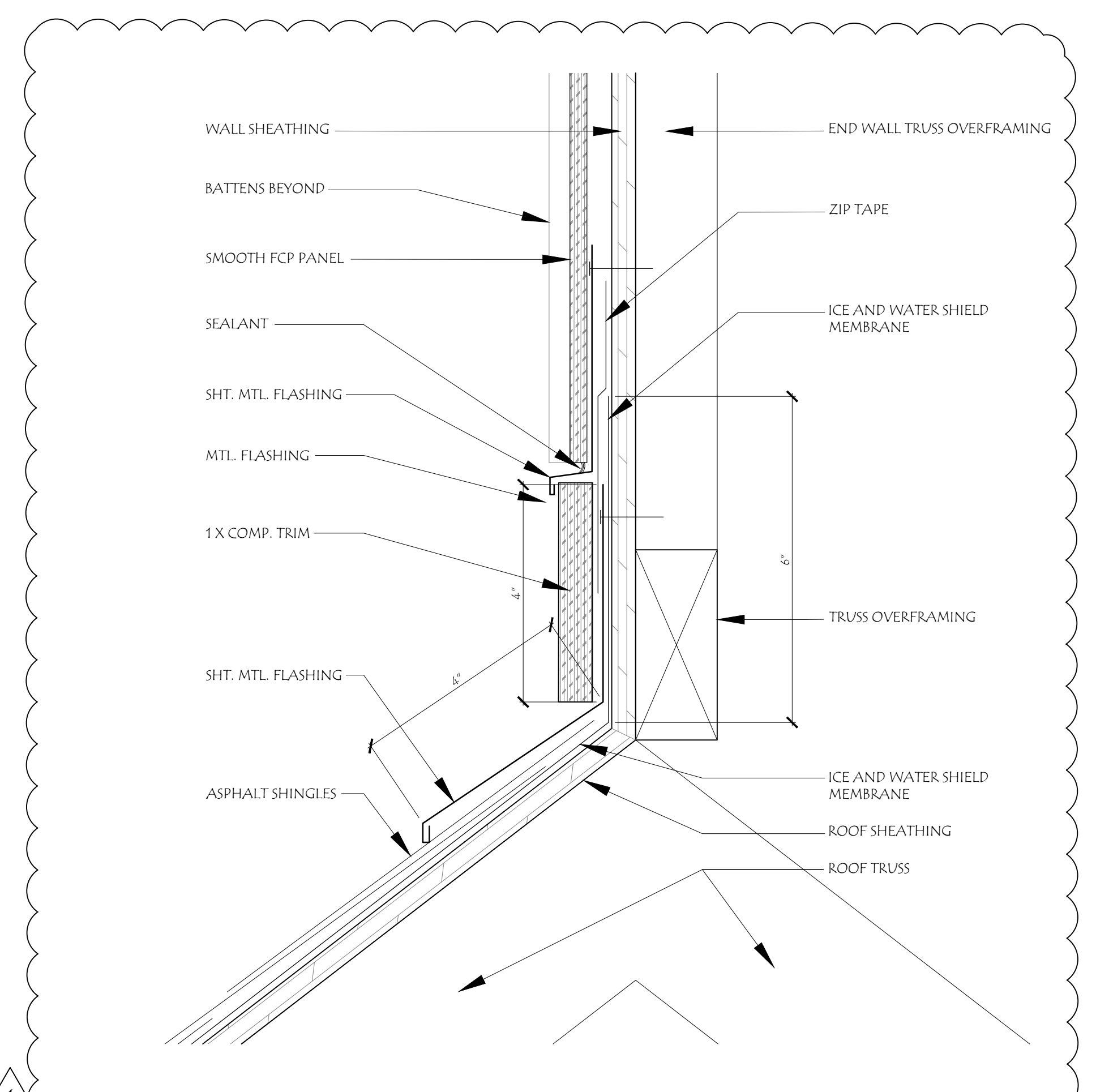
2 REAR EXIT COL - ELEV.  
SCALE: 3/4" = 1'-0"



3 REAR EXIT COL - PLAN  
SCALE: 1 1/2" = 1'-0"



1 REAR EXIT COL - SECTION  
SCALE: 3/4" = 1'-0"



9 ROOF TO WALL FLASHING  
SCALE: 3" = 1'-0"

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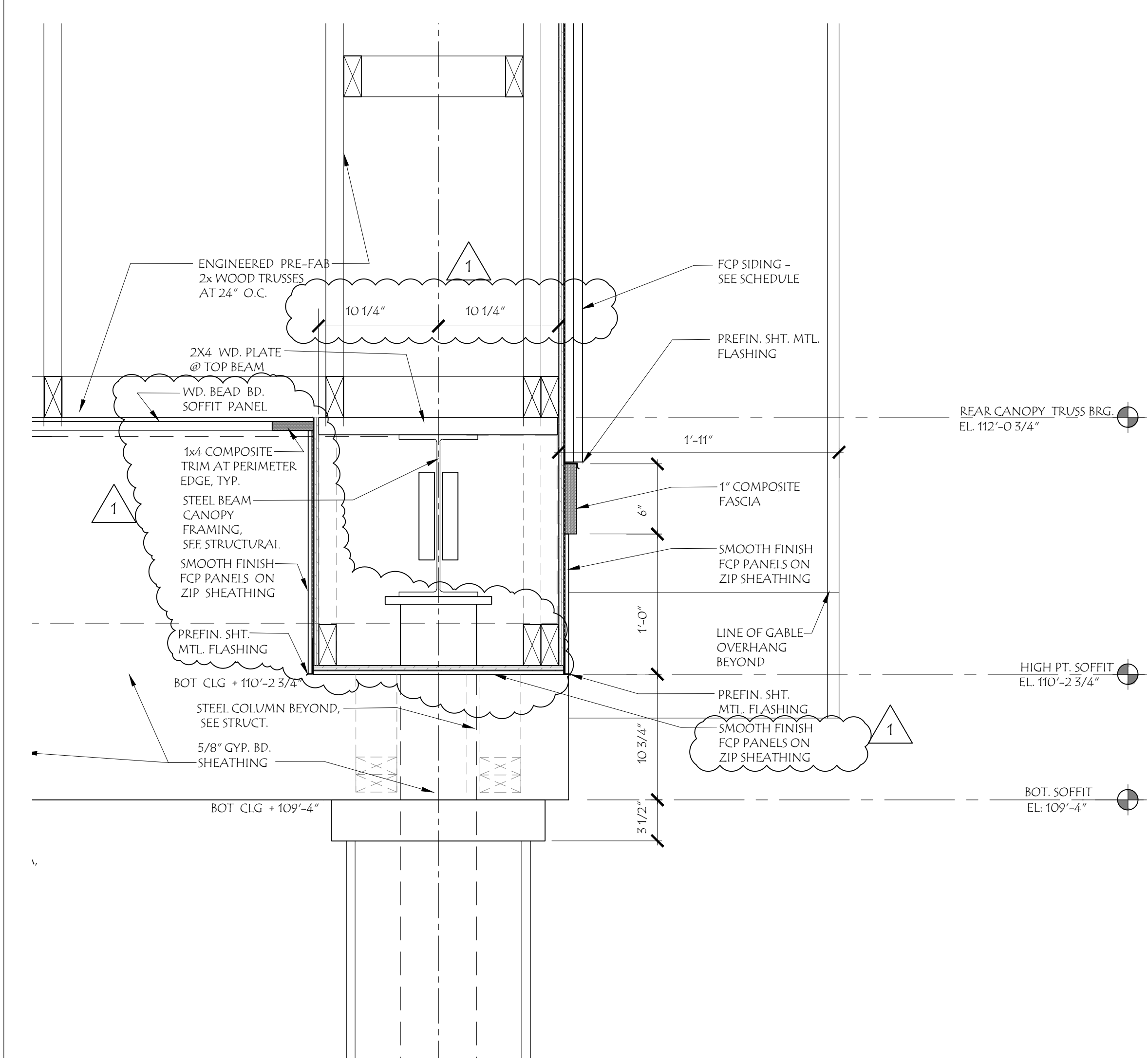
BID / PERMIT / CONST.	05/23/19
APPENDIX/M1	06/12/19
PROJECT NUMBER:	18036.00

PROJECT NUMBER:  
18036.00

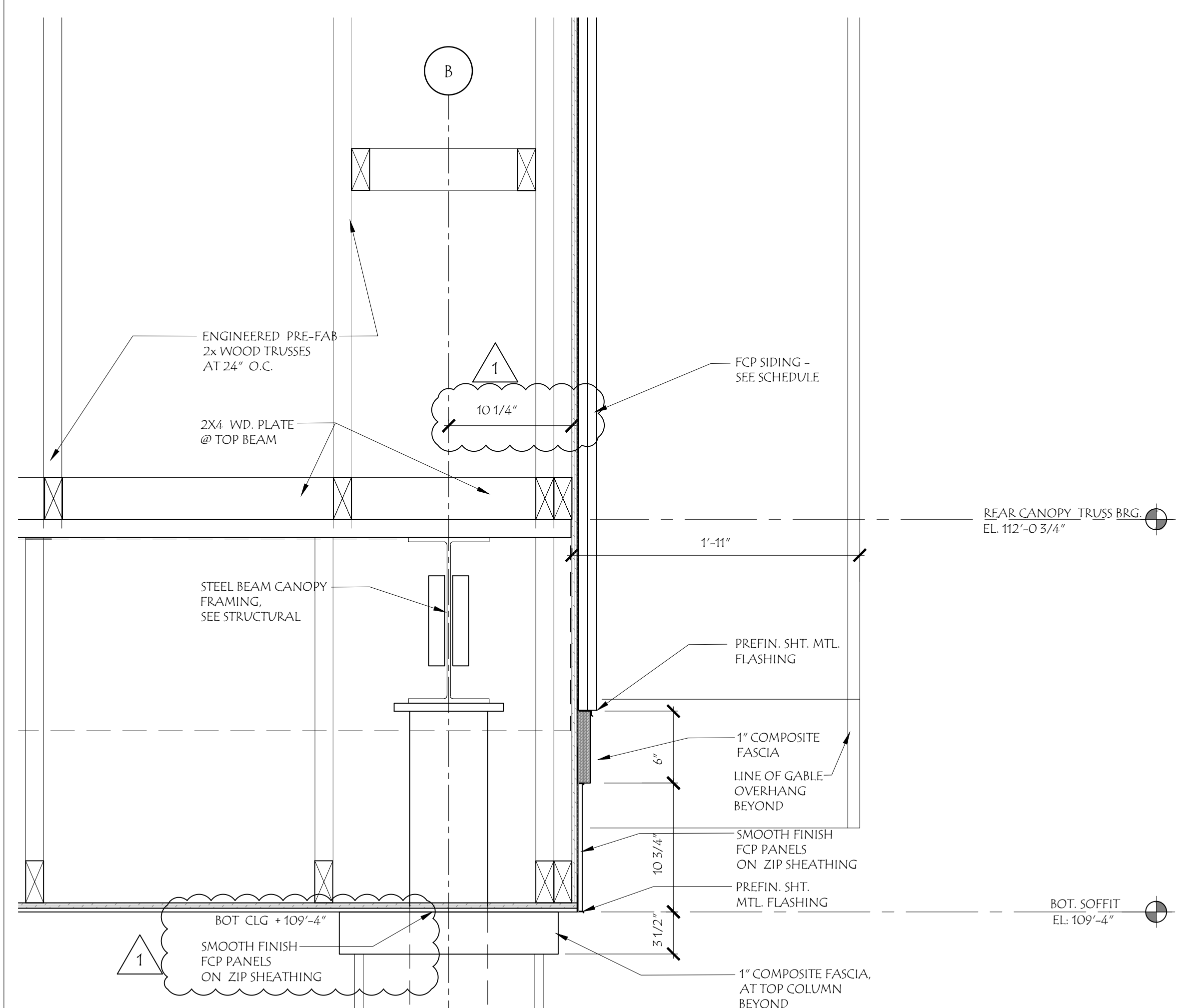
COLUMN  
DETAILS

**A8.04**

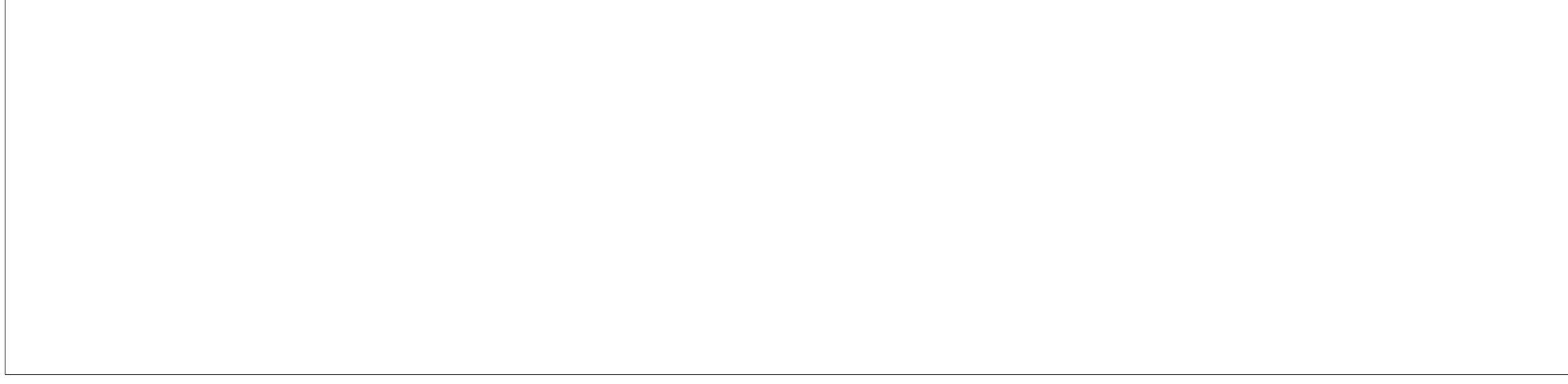




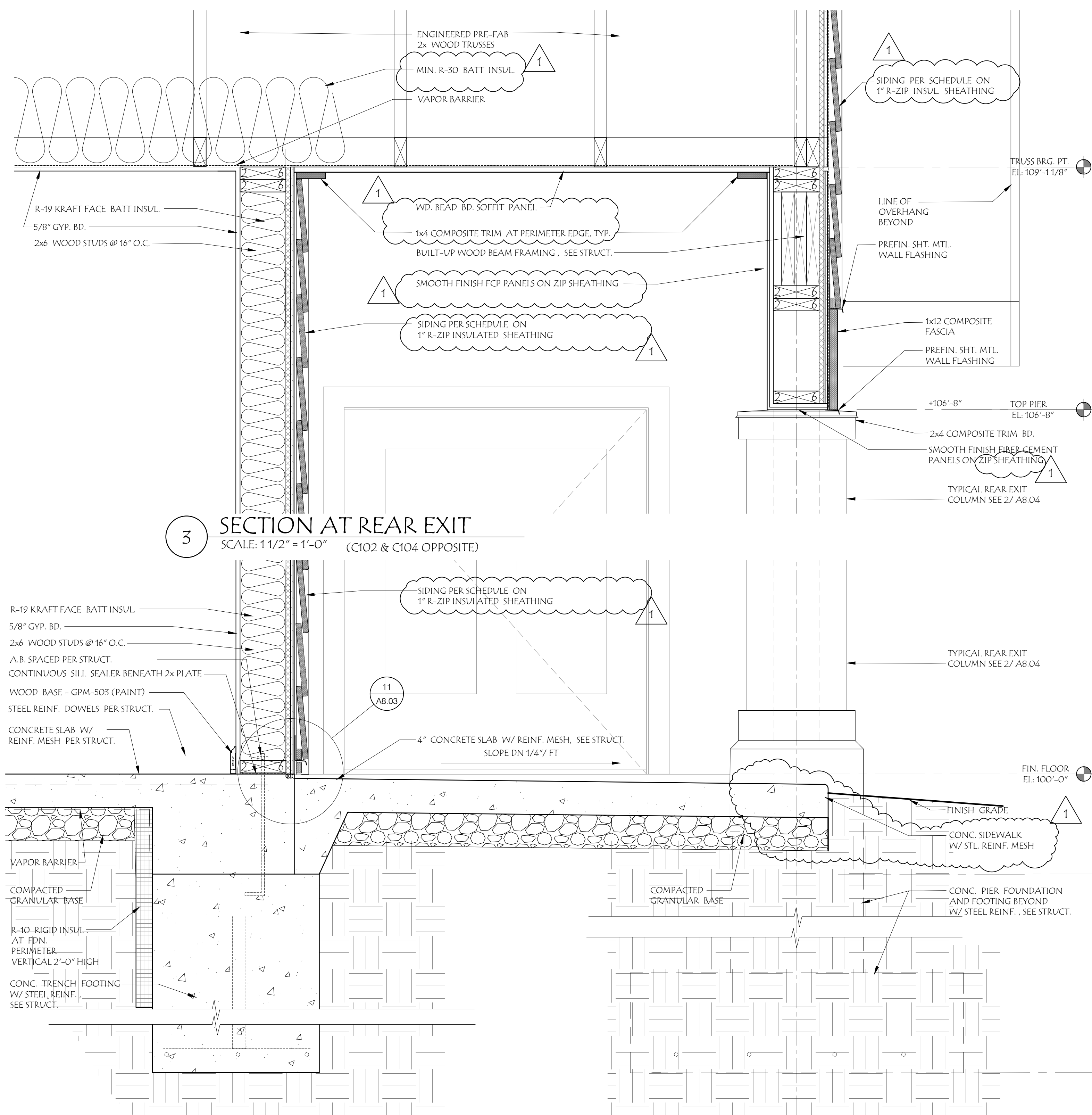
1 REAR CANOPY GABLE SECTION  
 SCALE: 1 1/2" = 1'-0"



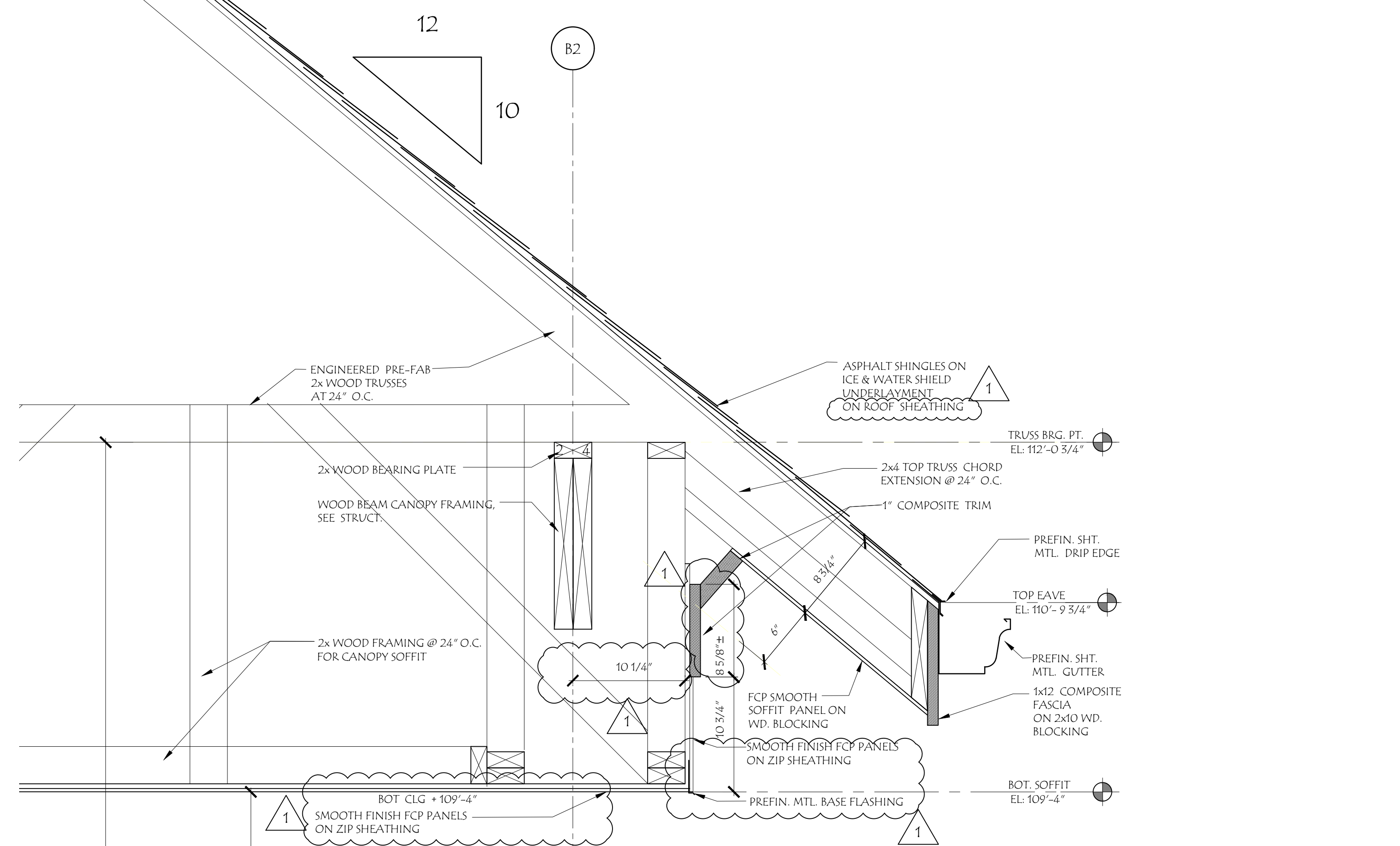
2 REAR CANOPY GABLE SECTION  
 SCALE: 1 1/2" = 1'-0"



5 SECTION AT REAR PORCH CANOPY  
 SCALE: 1 1/2" = 1'-0"  
 (SIDE RETURN)



4 SECTION AT REAR ENTRY  
 SCALE: 1 1/2" = 1'-0"  
 (C102 & C104 OPPOSITE)



3 SECTION AT REAR EXIT  
 SCALE: 1 1/2" = 1'-0"  
 (C102 & C104 OPPOSITE)

WALL SECTION NOTES

- A PRECONSTRUCTION CONFERENCE IS REQUIRED PRIOR TO INSTALLATION OF ALL EXPOSED CONDUITS, BOXES & DEVICES TO REVIEW ROUTING & LOCATIONS OF DEVICES IN CONJUNCTION WITH AREAS INDICATED TO HAVE AN EXPOSED STRUCTURE.
- WALL INSULATION WITHIN EXTERIOR WALLS TO BE OVERLAPPED 1'-0" MIN. VERTICALLY ABOVE THE ADJACENT ROOF/ CEILING.
- WHETHER SHOWN ON THE DRAWINGS OR NOT, THE GENERAL CONTRACTOR HAS SOLE RESPONSIBILITY TO ENSURE THAT AN AIRTIGHT SEAL BETWEEN THE ENTIRE ROOF PERIMETER CONNECTION TO THE EXTERIOR WALL CONSTRUCTION, ANY OTHER ROOF PENETRATIONS, OR OTHER PARTIAL HEIGHT WALL CONSTRUCTION IS MAINTAINED. WHETHER HIS OWN FORCES OR ANY OF THE MULTIPLE SUBCONTRACTORS UNDER HIS CONTROL INVOLVED IN THIS PORTION OF THE WORK.
- ALL EXTERIOR WALL SHEATHING SHOWN TO BE R-ZIP OR ZIP SHEATHING WITH ALL SEAMS, JOINTS OR PENETRATIONS TAPED AND ROLLED AIRTIGHT PER MANUFACTURER'S INSTRUCTIONS.
- STUD FRAMING CONTRACTOR RESPONSIBILITY FOR PERFORMING THE WORK HAVE SOLE RESPONSIBILITY TO INSTALL ALL APPROVED FIRESTOPPING MATERIAL IN ACCORDANCE WITH THE IBC BUILDING CODE WHETHER SHOWN ON THE DRAWINGS OR NOT.
- FIRE-BLOCKING AND DRAFTSTOPPING SHALL BE INSTALLED IN COMBUSTIBLE CONCEALED LOCATIONS INSTALLED TO CUT-OFF CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND SHALL FORM AN EFFECTIVE BARRIER BETWEEN FLOORS, BETWEEN A TOP STORY AND A ROOF ATTIC SPACE. FIRE BLOCKING SHALL CONSIST OF:
  - TWO - INCH NOMINAL LUMBER.
  - TWO THICKNESS OF 1-INCH NOMINAL LUMBER WITH BROKEN LAP JOINTS.
  - ONE THICKNESS OF 0.719-INCH WOOD STRUCTURAL PANELS WITH JOINTS BACKED BY 0.719-INCH WOOD STRUCTURAL PANELS.
  - ONE THICKNESS OF 0.75-INCH PARTICLEBOARD WITH JOINTS BACKED BY 0.75-INCH PARTICLEBOARD.
  - ONE-HALF-INCH GYPSUM BOARD.
  - ONE-FOURTH-INCH CEMENT-BASED MILLBOARD.
  - BATTS OR BLANKETS OF MINERAL WOOL, MINERAL FIBER OR OTHER APPROVED MATERIALS INSTALLED IN SUCH A MANNER AS TO BE SECURELY RETAINED IN PLACE.
  - FIBERGLASS INSULATION INSTALLED AS TESTED FOR THE SPECIFIC APPLICATION.
- FIRE-BLOCKING SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS:
  - CONCEALED WALL SPACES OF STUDS AND PARTITIONS, INCLUDING FURRED SPACES, AND PARALLEL ROWS OF STUDS OR STAGGERED STUDS VERTICALLY AT THE CEILING AND THE FLOOR LEVELS AND HORIZONTALLY AT INTERVALS NOT EXCEEDING 10 FEET.
  - INTERCONNECTIONS BETWEEN CONCEALED VERTICAL STUD WALL OR PARTITION SPACES AND CONCEALED HORIZONTAL SPACES CREATED BY AN ASSEMBLY OF FLOOR JOISTS OR TRUSSES, AND BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES AS OCCUR IN SOFFITS, DROP CEILINGS, COVE CEILINGS AND SIMILAR LOCATIONS.
  - IN CONCEALED SPACES BETWEEN STAIR STRINGERS AND THE TOP AND BOTTOM OF THE RUN.
  - ANNULAR SPACE AROUND VENTS, PIPES, DUCTS, CHIMNEYS AND FIREPLACES AT CEILING AND FLOOR LEVELS SHALL BE INSTALLED WITH A MATERIAL SPECIFICALLY TESTED IN THE FORM AND MANNER INTENDED FOR USE TO DEMONSTRATE ITS ABILITY TO REMAIN IN PLACE AND RESIST THE FREE PASSAGE OF FLAME AND THE PRODUCTS OF COMBUSTION.
    - FACTORY-BUILT CHIMNEYS AND FIREPLACES SHALL BE FIRE-BLOCKED IN ACCORDANCE WITH UL 103 AND UL127.
  - WITHIN CONCEALED SPACE OF EXTERIOR WALL COVERINGS AND OTHER EXTERIOR ARCHITECTURAL ELEMENTS WITH COMBUSTIBLE CONSTRUCTION, FIRE-BLOCKING SHALL BE INSTALLED AT MAXIMUM INTERVALS OF 20 FEET IN EITHER DIMENSION SO THAT THERE WILL BE NO CONCEALED SPACE EXCEEDING 100 SQUARE FEET BETWEEN FIRE-BLOCKING.
  - WHERE WOOD FURRING STRIPS ARE USED, THEY SHALL BE OF APPROVED WOOD OF NATURAL DECAY RESISTANCE OF PRESERVATIVE-TREATED WOOD. IF NONCONTINUOUS, SUCH ELEMENTS SHALL HAVE CLOSED ENDS, WITH NOT LESS THAN 4 INCHES OF SEPARATION BETWEEN SECTIONS.
  - WHERE WOOD SLEEPERS ARE USED FOR LAYING WOOD FLOORING ON MASONRY OR CONCRETE FIRE-RESISTANCE RATED FLOORS, THE SPACE BETWEEN THE FLOOR SLAB AND THE UNDERSIDE OF THE WOOD FLOORING SHALL BE FILLED WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME OR FIRE-BLOCKED IN SUCH A MANNER THAT THERE WILL BE NO OPEN SPACES UNDER THE FLOORING THAT WILL EXCEED 100 SQUARE FEET IN AREA AND SUCH SPACE SHALL BE FILLED SOLIDLY UNDER PERMANENT PARTITIONS SO THAT THERE IS NO COMMUNICATION UNDER THE FLOORING BETWEEN ADJOINING ROOMS.
- DRAFTSTOPPING IN ATTICS IN COMBUSTIBLE CONSTRUCTION SHALL BE INSTALLED TO SUBDIVIDE ATTIC SPACES AND CONCEALED ROOF SPACES.
  - DRAFTSTOPPING MATERIALS SHALL BE NOT LESS THAN 1/2-INCH GYPSUM BOARD, 3/8-INCH WOOD STRUCTURAL PANEL, 3/8-INCH PARTICLE BOARD, 1-INCH NOMINAL LUMBER, CEMENT FIBERBOARD, BATTS OR BLANKETS OF MINERAL WOOL OR GLASS FIBER, OR OTHER APPROVED MATERIALS.
 

IN THE FOLLOWING LOCATIONS:

    - ALL OTHER USE GROUPS DRAFTSTOPPING SHALL BE INSTALLED IN ATTICS AND CONCEALED ROOF SPACES, SUCH THAT ANY HORIZONTAL AREA DOES NOT EXCEED 3,000 SQUARE FEET.
    - DRAFTSTOPPING IS NOT REQUIRED IN BUILDING EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH NFPA 13.

9. ALL ROOF SHEATHING TO BE 1/2" APA FIR PLYWOOD SHEATHING W/ CLIPS.

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ADDENDUM 1	06/12/19
PROJECT NUMBER:	18036.00

WALL DETAILS

A8.05

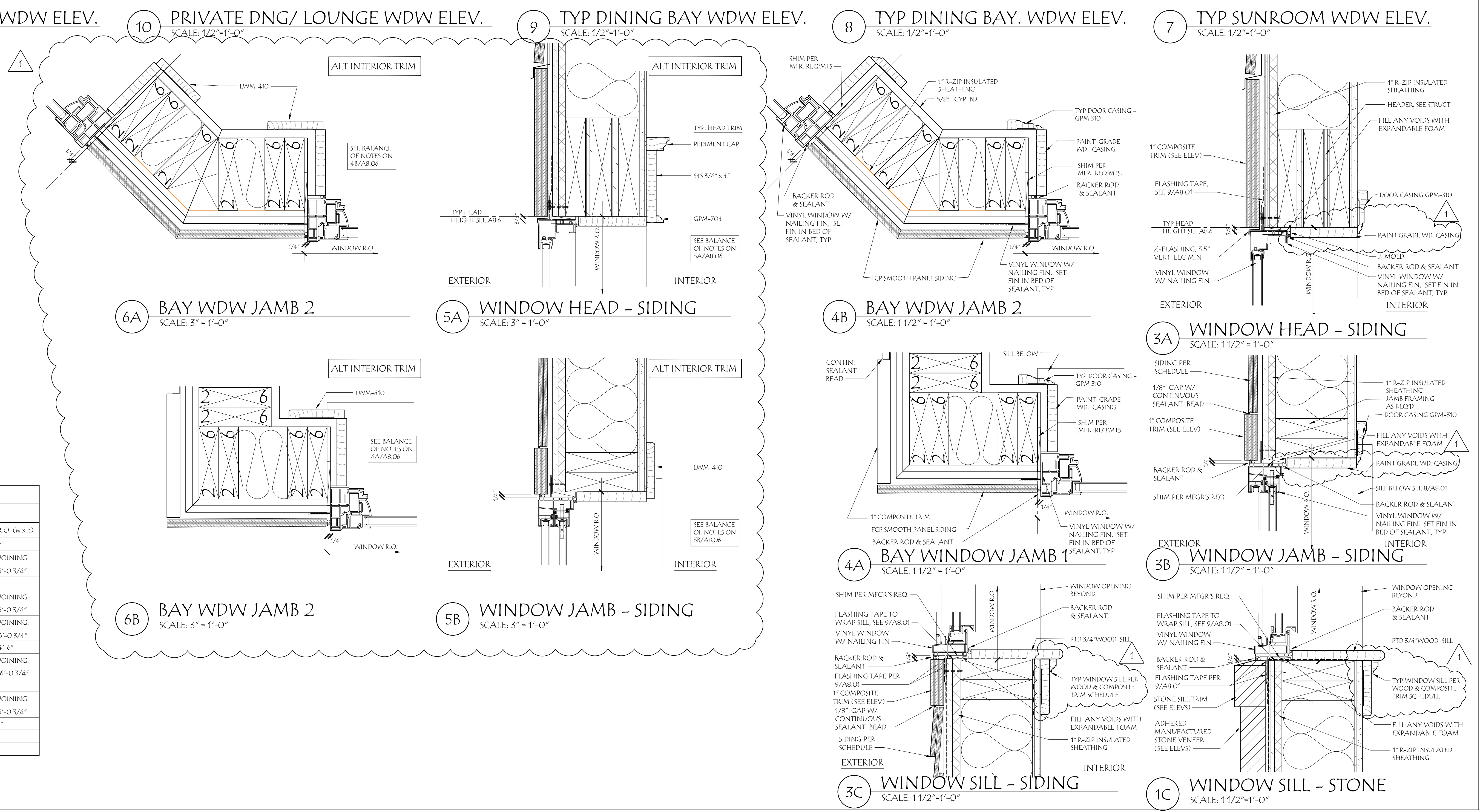
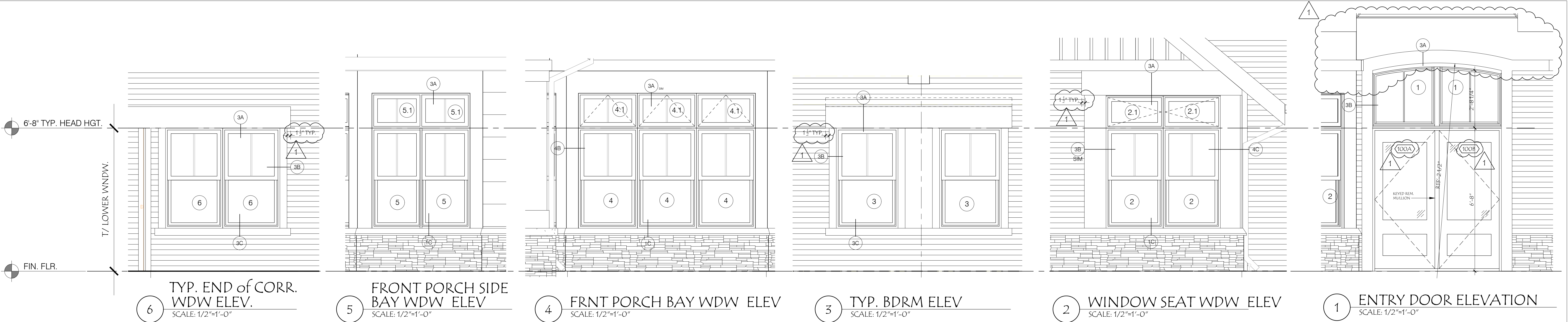


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UNIT WINDOW SCHEDULE					
MK	WINDOW SIZE (w x h)	DESCRIPTION	REMARKS	HEAD HT.	OVERALL R.O. (w x h)
(1)	2'-9 1/4" x 2'-1 1/4"	VINYL WINDOW	(2) FIXED, UNEQUAL LEG ARCH	9'-4"	6'-0" x 2'-10"
(2)	2'-5 1/2" x 4'-5 1/2"	VINYL WINDOW	(2) SINGLE HUNG, JOINED NON-REINFORCED	6'-8"	(2) (2) W/ JOINING
(3)	2'-5 1/2" x 1'-5 1/2"	VINYL WINDOW	(2) FIXED, JOINED NON-REINFORCED	8'-2"	5'-0 3/4" x 6'-0 3/4"
(4)	2'-11 1/2" x 4'-5 1/2"	VINYL WINDOW	SINGLE HUNG	6'-8"	3'-0" x 4'-6"
(5)	2'-5 1/2" x 4'-5 1/2"	VINYL WINDOW	(3) SINGLE HUNG, JOINED NON-REINFORCED	6'-8"	(3) (3) W/ JOINING
(6)	2'-5 1/2" x 1'-5 1/2"	VINYL WINDOW	(3) FIXED, JOINED NON-REINFORCED	8'-2"	5'-0 3/4" x 6'-0 3/4"
(7)	1'-11 1/2" x 1'-5 1/2"	VINYL WINDOW	(2) SINGLE HUNG, JOINED NON-REINFORCED	8'-2"	4'-0 3/4" x 6'-0 3/4"
(8)	2'-5 1/2" x 4'-5 1/2"	VINYL WINDOW	(2) SINGLE HUNG, JOINED NON-REINFORCED	6'-8"	5'-0 3/4" x 4'-6"
(9)	3'-5 1/2" x 4'-5 1/2"	VINYL WINDOW	(3) SINGLE HUNG, JOINED NON-REINFORCED	6'-8"	(3) (3) W/ JOINING
(10)	3'-5 1/2" x 1'-5 1/2"	VINYL WINDOW	(3) FIXED, JOINED NON-REINFORCED	8'-2"	10'-0" x 6'-0 3/4"
(11)	3'-5 1/2" x 4'-5 1/2"	VINYL WINDOW	SINGLE HUNG	6'-8"	3'-6" x 4'-6"
(12)	2'-5 1/2" x 4'-5 1/2"	VINYL WINDOW	(2) SINGLE HUNG, JOINED NON-REINFORCED	6'-8"	(2) (2) W/ JOINING
(13)	2'-5 1/2" x 1'-5 1/2"	VINYL WINDOW	(2) FIXED, JOINED NON-REINFORCED	8'-2"	5'-0 3/4" x 6'-0 3/4"
(14)	2'-11 1/2" x 4'-5 1/2"	VINYL WINDOW	(4) SINGLE HUNG, JOINED NON-REINFORCED	6'-8"	12'-0" x 4'-6"
(15)	2'-11 1/2" x 4'-5 1/2"	VINYL WINDOW	SINGLE HUNG	6'-8"	3'-0" x 4'-6"

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 APPENDIX 1 06/12/19  
 PROJECT NUMBER:  
 18036.00

WINDOW DETAILS  
**A8.06**







**ROOM FINISH SCHEDULE GENERAL NOTES**

- PROVIDE REDUCER OR TRANSITION STRIPS AT FLOORING MATERIALS OF DIFFERENT THICKNESS. PROVIDE SOLID VINYL REDUCER/TRANSITION STRIPS AT ALL CARPET/VCT, CARPET/CONC. & VCT/CONC. TRANSITIONS EQUAL TO JOHNSONITE CTA-XX-K.
- ALL MATERIALS ON THIS PROJECT MUST BE INSTALLED BY LICENSED, EXPERIENCED AND/OR APPROVED INSTALLERS OF THAT PRODUCT/ MATERIAL AND A MINIMUM 3 YEARS EXPERIENCE IN GOOD STANDING BY THE MANUFACTURER OF THAT PRODUCT/ MATERIAL (NO EXCEPTIONS). ALL INSTALLERS MUST BE FULLY AWARE OF:
  - THE MANUFACTURERS' INTENDED DESIGN LIMITATIONS/ PURPOSE AND USE OF THE MATERIAL BEING INSTALLED AND THE LATEST PUBLISHED INSTALLATION INSTRUCTIONS.
  - SUBSTRATE REQUIREMENTS OR USE OF THE THIS MATERIAL IN CONJUNCTION WITH OTHER ADJACENT MATERIALS AND SUBSTRATES.
  - NO PRODUCT IS TO BE ORDERED OR INSTALLED THAT DOES NOT MEET OR EXCEED THE LATEST PUBLISHED CONDITIONS FOR HANDLING & INSTALLATION BY THE MANUFACTURER.
  - ANY DISCREPANCIES BETWEEN THE DOCUMENTS AND THE EXISTING CONDITIONS, SUBSTRATES OR FINAL INSTALLATION ARE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO COMMENCING WORK.
- DUE TO VCT TILE AND CARPET FLOORS EASILY SHOWING DEVIATIONS, SUB-CONTRACTOR TO INSPECT SUBSTRATE CONDITIONS AND IDENTIFY ANY NEEDED CORRECTIONS PRIOR TO INSTALLATION OF ANY NEW MATERIALS TO ENSURE FLOOR IS SMOOTH AND LEVEL.
- FLOAT ALL FLOORS AS NECESSARY EACH SIDE OF DIFFERING FLOOR MATERIALS AND/OR DIFFERENT THICKNESS TO PROVIDE A SMOOTH UNDETECTABLE TRANSITION AND ALIGNING TOP SURFACES OF EACH DIFFERING MATERIAL. INSTALL EDGING OR TRANSITION STRIPS PER DOCUMENTS.
- PROVIDE WOOD BLOCKING OR STEEL FRAMING, PLATES, STRAPS, ETC. IN GYPSUM BOARD PARTITIONS FOR SUPPORT OF ALL WALL MOUNTED DEVICES AND EQUIPMENT INCLUDING BUT NOT LIMITED TO WALL CABINETS, MARKER AND TACKBOARDS, HANDRAILS, WOOD TRIM, SHELVING, TOILET ACCESSORIES, MECHANICAL/ELECTRICAL/PLUMBING & FIRE PROTECTION EQUIPMENT AND DEVICES AS WELL AS OWNER FURNISHED ITEMS.
- RUN FLOOR FINISHES UNDER ALL APPLIANCES & EQUIPMENT.

**WOOD & COMPOSITE TRIM SCHEDULE**

WD. PROFILE	GPM #	LOCATION
	GPM-121 PT GRADE WOOD -INT., COMPOSITE- EXT.	CROWN MOLD #1 INTR. PTD. TO MATCH INTERIOR BASE EXTR. PTD TO MATCH WHITE TRIM
	GPM-58 PT GRADE WOOD -INT., COMPOSITE- EXT.	CROWN MOLD #2 INTR. PTD. TO MATCH INTERIOR BASE INTR. PTD TO MATCH WHITE TRIM
	PV6085	TYP. VINYL WALL BASE PV6085 #85 FASHION ROPPE CONTOURS WHITE
	◇ DCAS5	TYP. CHAIR RAIL GARDEN STATE LUMBER, DESIGNER COLLECTION, PRIMED POPLAR
	GPM-310	WINDOW & DOOR CASING W/ PT. GR. WOOD
	A: PEDIMENT CAP B: S4S 3/4" x 5 1/2" C: GPM-704	TYP. HEAD TRIM ALONG DOOR CASINGS & WINDOW HEADS <b>ALT. INTERIOR TRIM PACKAGE</b>
	◇ D: WM1021, 11/16" x 4 3/4" E: GPM-748 ◇ F: LWM-410	TYP. WINDOW SILL ALONG WINDOW SILLS WM1021 FLAT STOOL, GARDEN STATE LUMBER, PRIMED PINE

TRIM PROFILES REFERENCED BY:  
 GRAVOIS PLANNING MILL COMPANY, 3026 JUNIATA ST  
 ST. LOUIS, MO. 63118. 314-776-2800  
<http://www.gravoisplanningmill.com/>  
 ◇ GARDEN STATE LUMBER, 22 MULLER RD  
 OAKLAND, NJ. 07436. 800-526-4708  
<https://www.gardenstatelumber.com/>

**ROOM FINISH SCHEDULE**

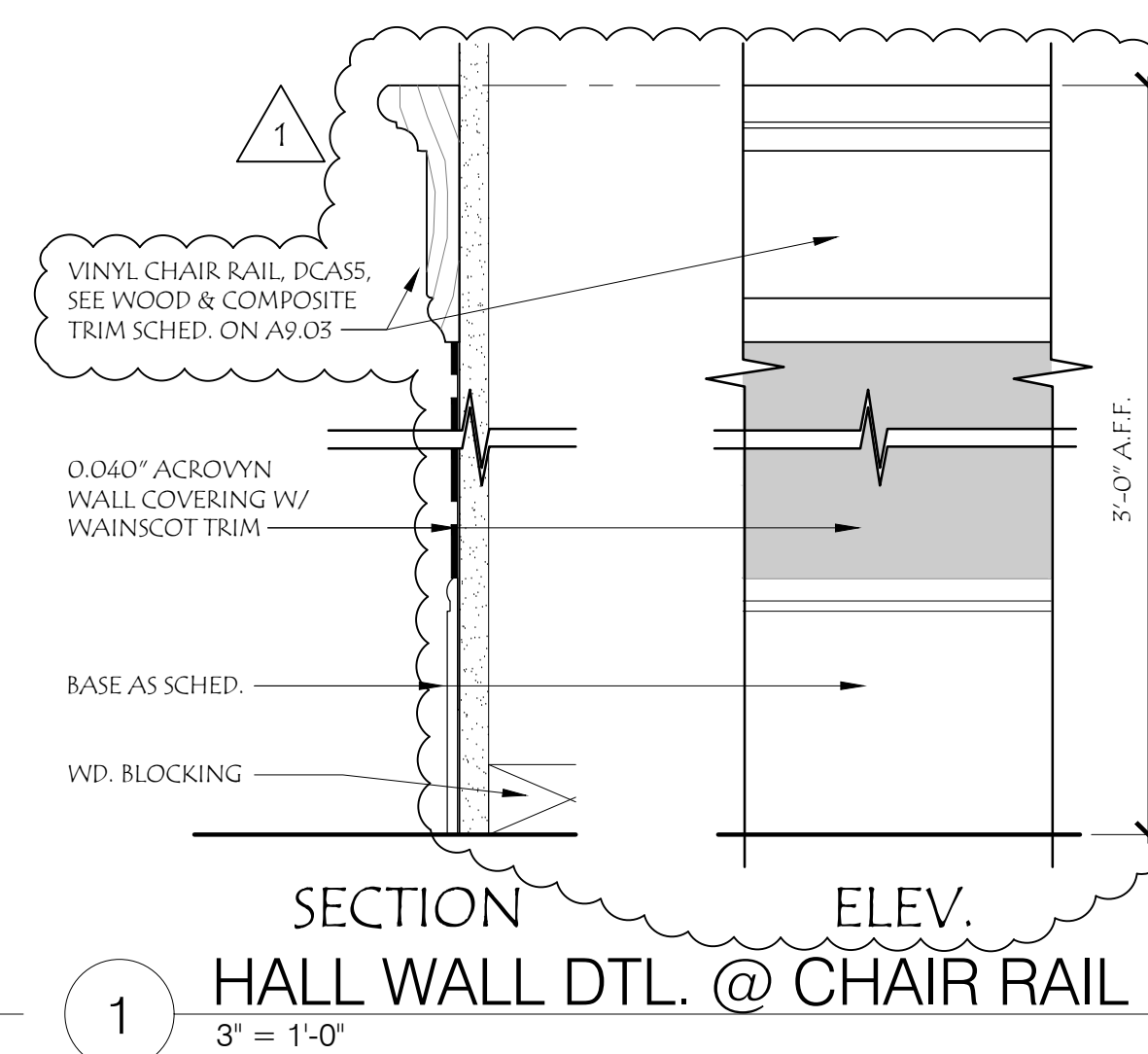
NO.	ROOM NAME	FLOORING	BASE FINISH	WALLS				CEILING		REMARKS
				NORTH WALL	EAST WALL	SOUTH WALL	WEST WALL	FINISH	HEIGHT	
100	FOYER	LVT-1	B-1	PT-1	PT-1	PT-1	PT-1	PT-2	1, 7	
100A	COATS	LVT-1	B-1	PT-1	PT-1	PT-1	PT-1	PT-2		
101	SUNROOM	LVT-1/CPT-1	B-1	PT-1	PT-1	PT-1	PT-1	PT-2	3, 7	
102	LOUNGE	CPT-1	B-1	PT-1	PT-1	PT-1	PT-1	PT-2		
103	LIVING ROOM	LVT-1	B-1	PT-1	PT-1	PT-1	PT-1	PT-2	3, 7, 10	
104	DINING	LVT-1	B-1	PT-1	PT-1	PT-1	PT-1	PT-2	4, 7	
105	KITCHEN	LVT-1	B-1	PT-1	PT-1	PT-1	PT-1	PT-2	9, 10	
106	PANTRY	LVT-1	B-1	PT-1	PT-1	PT-1	PT-1	PT-2		
107	PRIVATE DINING/LIVING ROOM	LVT-1	B-1	PT-1	PT-1	PT-1	PT-1	PT-2	10	
108	BATHROOM #1	PLY-1	PLY-1	PT-1	PT-1	PT-1	PT-1	PT-2	8, 9	
108A	MECH.	CONC.	B-1	PT-1	PT-1	PT-1	PT-1	PT-2		
108B	LINEN	PLY-1	PLY-1	PT-1	PT-1	PT-1	PT-1	PT-2		
109	STORAGE	LVT-1	B-1	PT-1	PT-1	PT-1	PT-1	PT-2		
110	LAUNDRY	LVT-1	B-1	PT-1	PT-1	PT-1	PT-1	PT-2		
110A	JANITOR	CONC.	B-1	PT-1	PT-1	PT-1	PT-1	PT-2	6	
111	BATHROOM #2	PLY-1	PLY-1	PT-1	PT-1	PT-1	PT-1	PT-2	8, 9	
111A	MECH.	CONC.	B-1	PT-1	PT-1	PT-1	PT-1	PT-2		
111B	LINEN	PLY-1	PLY-1	PT-1	PT-1	PT-1	PT-1	PT-2		
112	STORAGE	LVT-1	B-1	PT-1	PT-1	PT-1	PT-1	PT-2		
113	BEDROOM 7	LVT-1	B-1	PT-1	PT-1	PT-1	PT-1	PT-2		
114	BEDROOM 8	LVT-1	B-1	PT-1	PT-1	PT-1	PT-1	PT-2		
115	BEDROOM 9	LVT-1	B-1	PT-1	PT-1	PT-1	PT-1	PT-2		
116	BEDROOM 10	LVT-1	B-1	PT-1	PT-1	PT-1	PT-1	PT-2		
117	BEDROOM 11	LVT-1	B-1	PT-1	PT-1	PT-1	PT-1	PT-2		
118	BEDROOM 12	LVT-1	B-1	PT-1	PT-1	PT-1	PT-1	PT-2		
119	BEDROOM 1	LVT-1	B-1	PT-1	PT-1	PT-1	PT-1	PT-2		
120	BEDROOM 2	LVT-1	B-1	PT-1	PT-1	PT-1	PT-1	PT-2		
121	BEDROOM 3	LVT-1	B-1	PT-1	PT-1	PT-1	PT-1	PT-2		
122	BEDROOM 4	LVT-1	B-1	PT-1	PT-1	PT-1	PT-1	PT-2		
123	BEDROOM 5	LVT-1	B-1	PT-1	PT-1	PT-1	PT-1	PT-2		
124	BEDROOM 6	LVT-1	B-1	PT-1	PT-1	PT-1	PT-1	PT-2		
125	STORAGE	LVT-1	B-1	PT-1	PT-1	PT-1	PT-1	PT-2		
126	BATHROOM #4	PLY-1	PLY-1	PT-1	PT-1	PT-1	PT-1	PT-2	8, 9	
126A	LINEN	PLY-1	PLY-1	PT-1	PT-1	PT-1	PT-1	PT-2		
126B	MECH.	CONC.	B-1	PT-1	PT-1	PT-1	PT-1	PT-2		
127	NURSE STATION	LVT-1	B-1	PT-1	PT-1	PT-1	PT-1	PT-2		
127A	STORAGE	LVT-1	B-1	PT-1	PT-1	PT-1	PT-1	PT-2		
128	BATHROOM #5	PLY-1	PLY-1	PT-1	PT-1	PT-1	PT-1	PT-2	8, 9	
128A	LINEN	PLY-1	PLY-1	PT-1	PT-1	PT-1	PT-1	PT-2		
129	LAUNDRY	LVT-1	B-1	PT-1	PT-1	PT-1	PT-1	PT-2		
129A	MECH.	CONC.	B-1	PT-1	PT-1	PT-1	PT-1	PT-2		
130	HALL	LVT-1	B-1	PT-1	PT-1	PT-1	PT-1	PT-2	2, 5, 7	
131	HALL	LVT-1	B-1	PT-1	PT-1	PT-1	PT-1	PT-2	2, 5, 7	
132	HALL	LVT-1	B-1	PT-1	PT-1	PT-1	PT-1	PT-2	2, 5, 7	
133	HALL	LVT-1	B-1	PT-1	PT-1	PT-1	PT-1	PT-2	2, 5, 7	
-	-	-	-	-	-	-	-	-		
-	-	-	-	-	-	-	-	-		
-	-	-	-	-	-	-	-	-		

**MATERIALS FINISH LEGEND**

DENOTATION	MANUFACTURER	STYLE	NUMBER/COLOR	SIZE	CONTACT	REMARKS
R-1	ROPPE	TRADITIONAL COVE BASE #PV6085	1	4 1/2"	SEE A4.00	SEE A4.00
CG	INPRO CORPORATION	FLEXIBLE CORNER GUARDS	1	2" WINGS		4" TALL FINISH TO CLOSELY MATCH WALL COVERING
CONC						SEALED CONCRETE
CPT-1	FORRO FLOORING SYSTEM	ELOTEX - JOHNSONS				FINISH TO MATCH WALL
PLY-1	DESCO	GRANITE SERIES				4" COVE BASE & FLOOR SEE B/A4.00
LVT-1	MOHAWK	BARNWOOD		7.24" x 58"		
PLAM-1	WILSONART	TO BE SELECTED				COUNTER & CABS BACK OF HOUSE
PT-1	SHERWIN WILLIAMS	INTERIOR LATEX - EGG SHELL				
PT-2	SHERWIN WILLIAMS	INTERIOR LATEX - FLAT				WOOD TRIM PAINT
PT-3	SHERWIN WILLIAMS	INTERIOR LATEX - SEMI-GLOSS				WALL PANELS AT SHOWERS
SS-1	SILESTONE			15MM		KITCHEN COUNTERS
SS-2	SILESTONE	ANTI-MICROBIAL				
SV-1	TEKNOFLOR/SHANNON	MOUNTAINSCAPES				
VP-1	INPRO CORPORATION	PALLADIUM RIGID SHEET	TRD	10.040" THICK		FINISH TO RESEMBLE WALL COVERING

**ROOM FINISH SCHEDULE REMARKS**

- PAINT COLUMNS WALL COLOR.
- INSTALL ACROVYN WAINSCOT & TRIM UP TO CHAIR RAIL HEIGHT.
- CPT-1 INSET - SEE FLOOR PLAN.
- PROVIDE ACROVYN WALL PROTECTION & TRIM FROM UNDERSIDE OF COUNTERTOP TO TOP OF BASE.
- SEE DETAIL 1/A9.05 FOR ALL WALLS.
- PROVIDE 4 FOOT HIGH WHITE PEBBLE FINISH FRP PANELS ON SOUTH AND WEST WALLS W/ TOP TRIM ABOVE MOP SINK.
- PROVIDE CG (CORNER GUARDS) WHERE INDICATED.
- POLYMER FLOOR & 4" HIGH INTEGRAL COVE BASE W/ 15MM SOLID SURFACE WALL PANELS AT SHOWER. SEE B/A4.00
- PROVIDE ANTI-MICROBIAL SOLID SURFACE COUNTERS
- PRE-FINISHED WOOD CABINETS
- NOT USED
- SEE TYPICAL POLYMER BASE @ / A4.00



2 NOT USED

1

The Professional Architect has prepared and checked the preparation of the material shown only on this sheet. Other drawings and documents not including the use shall be the responsibility of the undersigned.

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BID / PERMIT / CONST. 05/23/19  
 ADDENDUM #1 06/12/19  
 PROJECT NUMBER:  
 18036.00

**FINISH SCHEDULE**  
**A9.03**



**SOUND CONTROL NOTES FOR HOUSING**

THESE NOTES AND DETAILS DESCRIBE THE ACOUSTICAL ELEMENTS OF ASSEMBLIES THAT MUST COMPLY WITH THE STC/ICC REQUIREMENTS OF THE BUILDING CODE. THEY MAY NOT BE REQUIRED AT EVERY ASSEMBLY IN THE PROJECT. NON-RATED ASSEMBLIES AND ASSEMBLIES THAT DO NOT SEPARATE OCCUPANCIES, DWELLING UNITS, AND/OR COMMON AREAS FROM EACH OTHER WOULD BE EXEMPT, UNLESS OTHERWISE NOTED. THESE REQUIREMENTS MUST BE FOLLOWED IN CONJUNCTION WITH THE RATED ASSEMBLY SHEETS, ALL DETAILS, AND SPECIFICATIONS TO MAINTAIN BOTH SOUND CONTROL AND REQUIRED FIRE RATINGS. ADVISE THE ARCHITECT IMMEDIATELY IN WRITING, IF ANY INCONSISTENCIES OR DISCREPANCIES EXIST PRIOR TO THE START OF CONSTRUCTION.

**DEFINITIONS:**  
**SOUND TRANSMISSION CLASS (STC):** A SINGLE NUMBER RATING FOR EVALUATING EFFICIENCY OF CONSTRUCTIONS IN ISOLATING AIRBORNE SOUND TRANSMISSION. THE HIGHER THE STC RATING, THE MORE EFFICIENT THE CONSTRUCTION. STC MEASURES THE ABILITY OF A WALL OR FLOOR ASSEMBLY TO ISOLATE AIRBORNE AND PREVENT IT FROM PASSING FROM ONE SIDE TO THE OTHER. THE MINIMUM INTERNATIONAL BUILDING CODE REQUIREMENT IS 50 STC PER ASTM E90.  
**IMPACT INSULATION CLASS (IIC):** A SINGLE NUMBER RATING DEVELOPED BY THE FEDERAL HOUSING ADMINISTRATION TO ESTIMATE THE IMPACT SOUND ISOLATION PERFORMANCE OF FLOOR/CEILING SYSTEMS. IIC MEASURES ABILITY OF A FLOOR/CEILING ASSEMBLY TO ISOLATE SOUND TRANSMITTED FROM FOOTFALL, AND OTHER IMPACT SOURCES THROUGH THE BUILDING STRUCTURE. THE MINIMUM INTERNATIONAL BUILDING CODE REQUIREMENT IS 50 IIC PER ASTM E492.

**AIRBORNE SOUND:** SOUND, PRODUCED BY VIBRATING SOURCES THAT RADIATE SOUND DIRECTLY INTO THE AIR, WHICH IS TRANSMITTED THROUGH AIR, AS A MEDIUM RATHER THAN THROUGH SOLIDS OR THE STRUCTURE OF THE BUILDING.  
**FLANKING PATHS:** A WALL OR FLOOR/CEILING CONSTRUCTION THAT PERmits SOUND TO BE TRANSMITTED ALONG ITS SURFACE OR ANY OPENING WHICH PERMITS DIRECT TRANSMISSION OF SOUND THROUGH THE AIR. THIS TYPICALLY OCCURS AT SMALL GAPS AND OPENINGS AROUND DOORS, TOP AND BOTTOM PLATES, ELECTRICAL BOXES, AND CONDUIT AND HVAC DUCTING WHICH ALLOW SOUND TO PASS THROUGH IF ACOUSTICAL SEALANT IS NOT USED. ALSO REFERRED TO AS "LEAKING PATHS".

- A. MECHANICAL, ELECTRICAL, PLUMBING**  
 1. METEOROLOGICAL AND CONDITIONING AIR DUCTS LOCATED IN DEMISING ASSEMBLIES ARE TO BE LINED.  
 2. WIRE EACH BEDROOM AS A UNIT, AVOID PENETRATION OF WALLS BETWEEN BEDROOMS.  
 3. CAULK HOLES (MADE BY WIRING) THAT PENETRATE DEMISING ASSEMBLIES. USE ELASTIC, NON-HARDENING CAULK OR DRY PACKING.  
 4. CONNECT VIBRATING EQUIPMENT WITH FLEXIBLE WIRING THAT SITS ON OR IS CONNECTED TO DEMISING ASSEMBLIES.  
 5. CUT HOLES IN DEMISING ASSEMBLIES NEATLY TO REDUCE LEAKS.  
 6. MAKE SURE ELECTRICAL OUTLETS ARE AIRTIGHT BY USING ELASTIC, NON-HARDENING SEALANT IN DEMISING ASSEMBLIES.  
 7. ELECTRICAL OUTLET BOXES IN OPPOSITE FACES OF DEMISING WALLS SHALL BE SEPARATED HORIZONTALLY BY 24" MINIMUM. BACK AND SIDES OF BOXES SHALL BE SEALED WITH 1/8" RESILIENT SEALANT. IF IT IS IMPOSSIBLE TO OFFSET ELECTRICAL OUTLETS, THEN INCREASE THE MASS OF THE BOX BY USING A PUTTY PACK, TV, TELEPHONE, AND INTERCOM OUTLETS MUST BE INSTALLED ACCORDINGLY. INSTALL PHONES, POORBELLS, INTERCOMS, AND OTHER NOISE MAKING EQUIPMENT ON INSULATED INTERIOR WALLS ONLY - NEVER ON DEMISING WALL.  
 8. FIT INSULATION BEHIND THE ELECTRICAL BOXES LOCATED IN DEMISING ASSEMBLIES.  
 9. ENSURE THAT OPENINGS AROUND BOXES LOCATED IN DEMISING ASSEMBLIES ARE SEALED AIR TIGHT.  
 10. INSTALL RECESSED LIGHT FIXTURES IN FLUR DOWN LOCATIONS ONLY.  
 11. ISOLATE PIPING FROM STRUCTURES WITH RESILIENT PADS AND SLEEVES. THEN SEAL FOR AIR TIGHTNESS.  
 12. IF WATER HAMMER IS PRESENT AT OR BEFORE THE TIME OF SUBSTANTIAL COMPLETION PROVIDE AIR CHAMBERS TO ELIMINATE WATER HAMMER DUE TO ABRUPT STOPPING OF FLOWING WATER.  
 13. CAULK ALL OPENINGS MADE IN DEMISING WALLS, FLOORS AND FRAMING FOR SUPPLY AND DRAIN LINES.  
 14. WATER CLOSETS TO BE RESILIENTLY MOUNTED WHEN SERVED BY DRAINS OR VENTS WHICH ARE INSTALLED WITHIN DEMISING ASSEMBLIES.

- B. MEDICINE CABINETS**  
 1. SEPARATE OR SURFACE MOUNT MEDICINE CABINETS MOUNTED ON DEMISING ASSEMBLIES OR INSTALL MEDICINE CABINETS ON INTERIOR PARTITIONS.  
 2. INSULATE AND DEMISE MEDICINE CABINETS WHEN INSTALLED ON DEMISING ASSEMBLIES.  
**C. PERIMETER SEALING**  
 1. AT GROUND/FLOOR LOCATIONS ON CONCRETE SLABS, INSTALL PLATES OF DEMISING ASSEMBLIES ON SILL SEALERS; RUN WALL FINISH TO FLOOR WHERE POSSIBLE AND CAULK AIRTIGHT ON BOTH SIDES.  
 2. AT ELEVATED FLOOR LOCATIONS ON PLYWOOD BECKING, INSTALL SOUND BREAK MATERIAL BETWEEN SILL PLATES AND GYPSUM UNDER LAYMENT AND CAULK AIRTIGHT ON BOTH SIDES UNLESS INSTALLED PER DETAIL IN 1.  
 3. USE A NON-HARDENING, PERMANENTLY RESILIENT ACOUSTIC SEALANT SUCH AS A BUTYL RUBBER-BASED COMPOUND ON BOTH SIDES OF THE DEMISING ASSEMBLY.  
 4. USE JOINT TAPE AT JOINT LOCATIONS.  
 5. FULLY SEAL THE LATCH SET ON ALL ENTRY DOORS.  
 6. THE FOLLOWING LOCATIONS REQUIRE ACOUSTIC SEALING ALSO:  
 A. TOP AND BOTTOM PLATE PENETRATIONS BY PLUMBING AND ELECTRICAL  
 B. TUB/SHOWER ON OUTSIDE OR ATTIC WALL  
 C. TUB/SHOWER DRAIN LINE  
 D. WINDOW AND DOOR ROUGH OPENINGS  
 E. GAPS BETWEEN EXTERIOR WALL FRAMING MEMBERS GREATER THAN 1/4"  
 F. RAND JOINT EXPOSED TO EXTERIOR - EXTERIOR SHEATHING WITH WRB MEETS THIS REQUIREMENT, PROVIDED ALL PENETRATIONS THROUGH THE AIR BARRIER ARE SEALED PROPERLY.  
 G. RAND AREA EXPOSED TO UNCONDITIONED SPACE - EXTERIOR SHEATHING WITH WRB MEETS THIS REQUIREMENT, PROVIDED ALL PENETRATIONS THROUGH THE AIR BARRIER ARE SEALED PROPERLY.  
 H. RAND AREA RE-ENTERED SPACE AND ATTIC - EXTERIOR SHEATHING WITH WRB MEETS THIS REQUIREMENT, PROVIDED ALL PENETRATIONS THROUGH THE AIR BARRIER ARE SEALED PROPERLY.  
 I. SEAM BETWEEN RIGID EXTERIOR SHEATHING - WRB MEETS THIS REQUIREMENT, PROVIDED ALL PENETRATIONS THROUGH THE AIR BARRIER ARE SEALED PROPERLY.  
 J. EXTERIOR WALL PENETRATIONS FOR REFRIGERATION LINES, CONDENSATE LINES, ETC.  
 K. ATTIC SCUTTLE HOLES  
 L. MECHANICAL ELEMENT AND DUCTWORK CHASIS IN ATTICS, CRAWLSPACES  
 M. CEILING MOUNTED RECESSED LIGHTS, FANS, SPEAKERS, ETC. SEALED TO DRYWALL  
 N. CEILING/CRAWLSPACE HVAC BOOTS SEALED TO DRYWALL

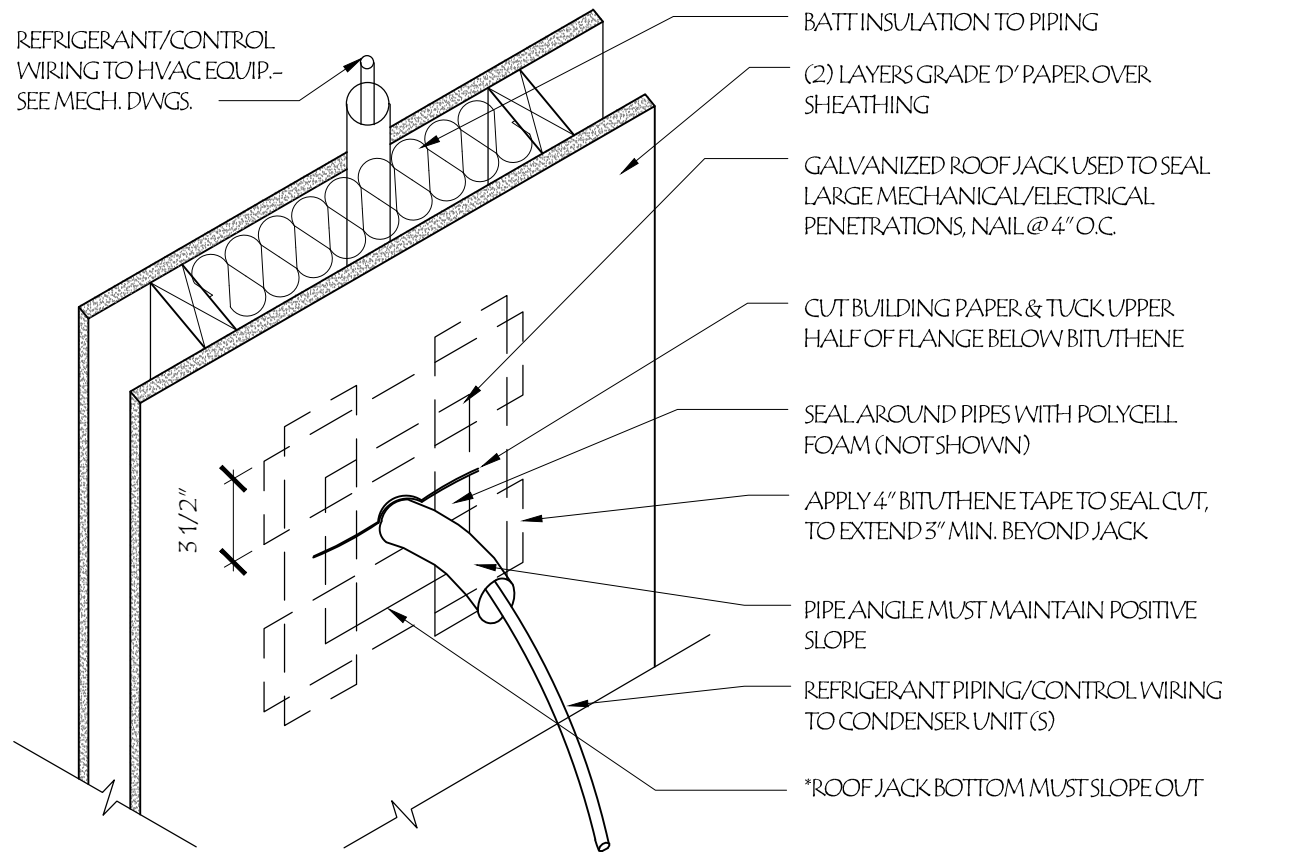
- D. INSTALLATION INFORMATION**  
 1. BOTTOM PLATE: APPLY A CONTINUOUS 5/8" ROUND BEAD OF SEALANT AT EACH SIDE OF THE BOTTOM PLATE BEFORE SETTING GYPSUM BOARD UNLESS INSTALLED PER DETAIL IN 1. GYPSUM BOARD SHALL BE SET INTO SEALANT TO FLOOR COMPLETE CONTACT WITH ADJACENT MATERIALS. DO NOT ALLOW THE GYPSUM BOARD TO SET DIRECTLY ON THE FLOOR.  
 2. TOP PLATE: APPLY SEALANT AT TOP OF GYPSUM BOARD INTO THE JOINT TO PROVIDE FULL CONTACT BETWEEN THE BOARD AND THE STRUCTURE ABOVE.  
 3. CUT-OUTS AND PERIMETER JOINTS: BACKS OF ELECTRICAL BOXES, PIPES, DUCT SYSTEMS, AND OTHER TYPES OF UTILITY EQUIPMENT PENETRATING WALL SURFACES OF DEMISING ASSEMBLIES ARE TO BE BUTTERED WITH SEALANT. ALL JOINTS AT PERIMETER EDGES INCLUDING ABRUTTING SURFACES AND CORNER JOINTS FORMED BY COMPONENTS SHALL BE SEALED WITH SEALANT.  
 4. BATTS MAY BE FRICTION-FIT IN PLACE UNTIL THE INTERIOR FINISH IS APPLIED. INSTALL BATTS TO FILL ENTIRE STUD CAVITY. IF STUD CAVITY IS LESS THAN 96" IN HEIGHT, CUT LENGTHS TO FRICTION-FIT AGAINST FLOOR AND CEILING FRAMING/TRACKS. WALLS WITH PENETRATIONS REQUIRE THAT INSULATION BE CAREFULLY CUT TO FIT AROUND OUTLETS, JUNCTION BOXES, AND OTHER IRREGULARITIES. WHERE INSULATION MUST EXTEND HIGHER THAN 8 FEET, SUPPLEMENTARY SUPPORT SHOULD BE INSTALLED TO HOLD INSULATION IN PLACE UNTIL THE INTERIOR FINISH IS APPLIED.

- F. ACOUSTICAL SEALANT**  
 1. SEAL ALL PENETRATIONS, THROUGH ACOUSTICAL ASSEMBLIES, EXCEPT FOR PENETRATIONS IN FIRE RATED CONSTRUCTION TO RECEIVE FIRE STOPPING. THIS INCLUDES PENETRATIONS INCLUDING BUT NOT LIMITED TO ELECTRICAL RECEPTACLE BOXES, LIGHT FIXTURES, SPRINKLER, PUCTWORK, PIPE, ETC.  
 2. REFER TO ASTM C 919, STANDARD PRACTICE FOR USE OF SEALANTS IN ACOUSTICAL APPLICATIONS FOR THE PROPER USE OF ACOUSTICAL CAULK. THIS STANDARD DETAILS A WALL SYSTEM, EXAMPLE-RATED AT STC 55, THAT ACHIEVES AN STC OF 29 WHEN IMPROPERLY CAULKED; FAILING TO CAULK THE SYSTEM CLEARLY EQIVATES TO A FAILURE TO MEET AN ACOUSTICAL WALL.  
 3. WHEN THERE ARE TWO LAYERS OF WALL BOARD, IT NEED ONLY BE APPLIED TO ONE OF THE LAYERS.  
 4. WHEN SELECTING AN ACOUSTICAL SEALANT, IT SHOULD REMAIN RESILIENT (I.E. A NON-DRYING, NON-HARDENING, OR NON-SKINNING SEALANT). TAPING IS NOT AN ACCEPTABLE SOLUTION.

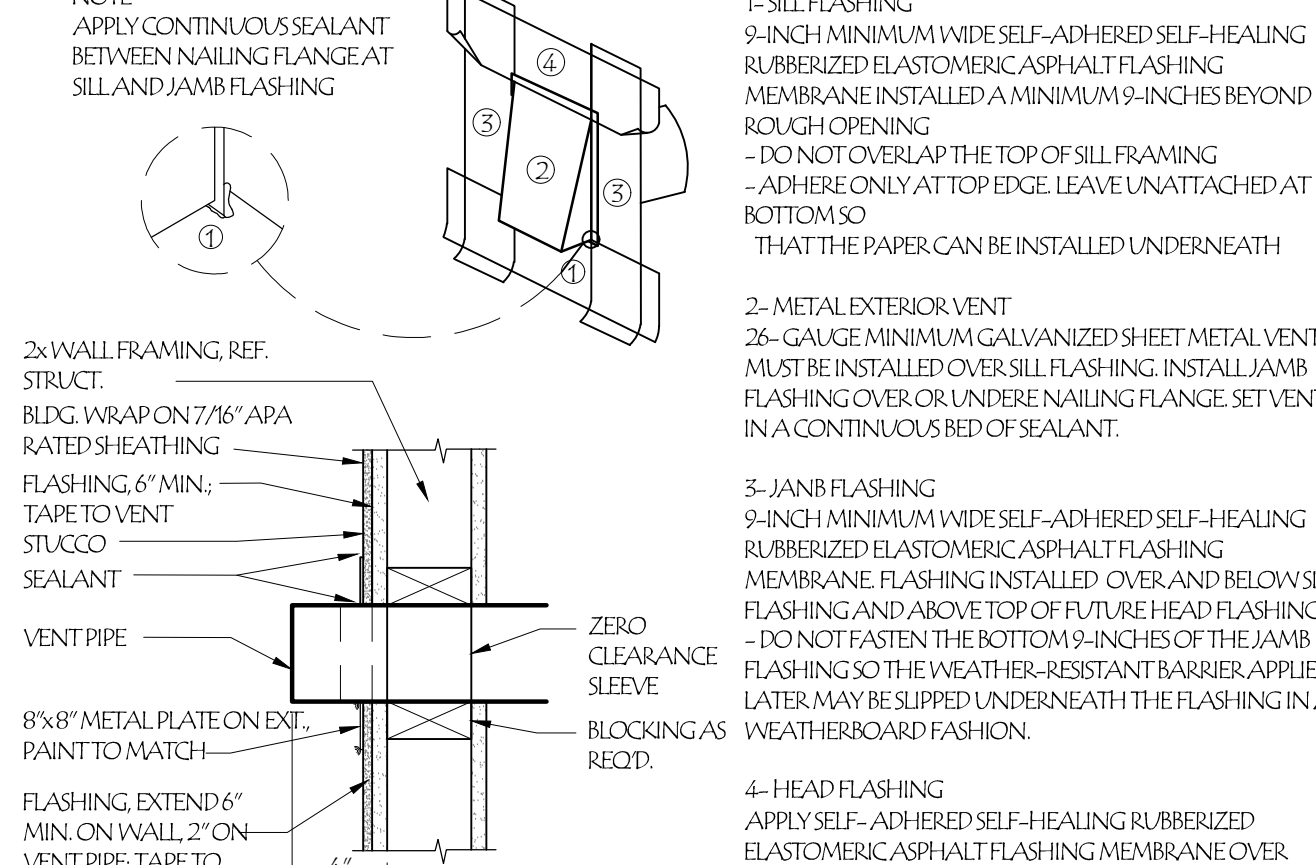
- G. OTHER REFERENCES**  
 1. FIRE AND SOUND CONTROL IN WOOD - FRAME MULTI - FAMILY BUILDINGS, BEST PRACTICE GUIDE BUILDING TECHNOLOGY, NATIONAL RESEARCH COUNCIL OF CANADA  
 2. ASTM C919, STANDARD PRACTICE FOR USE OF SEALANTS IN ACOUSTICAL APPLICATION FOR THE PROPER USE OF ACOUSTICAL CAULK.  
 3. FIRE RESISTANCE DESIGN MANUAL, 17TH EDITION, GYPSUM ASSOCIATION.  
 4. ACOUSTICAL WALL INSULATION DESIGN GUIDE.  
 5. SOUND CONTROL FOR COMMERCIAL AND RESIDENTIAL BUILDINGS, NORTH AMERICA INSULATION MANUFACTURES ASSOCIATION.  
 6. LEVEL ROCK FLOOR UNDER LAYMENT SOUND SOLUTIONS, USG  
 7. NOISE-REDUCING SYSTEMS, APA, THE ENGINEERED WOOD ASSOCIATION.  
 8. BUILDING A BETTER WALL, THE ELEMENTS OF GOOD ACOUSTICS, ARTICLE BY WILLIAM STEWART PUBLISHED IN "THE CONSTRUCTION SPECIFIER" IN JULY 2008.

- H. NOTICE:** ASTM E949, STANDARD PRACTICE FOR INSTALLING SOUND-ISOLATING LIGHTWEIGHT PARTITIONS, WAS WITHDRAWN WITHOUT REPLACEMENT EFFECTIVE 2008. PLEASE DISREGARD ANY MENTION OF THIS STANDARD IF FOUND IN REFERENCED MATERIALS LISTED IN SECTION 2.

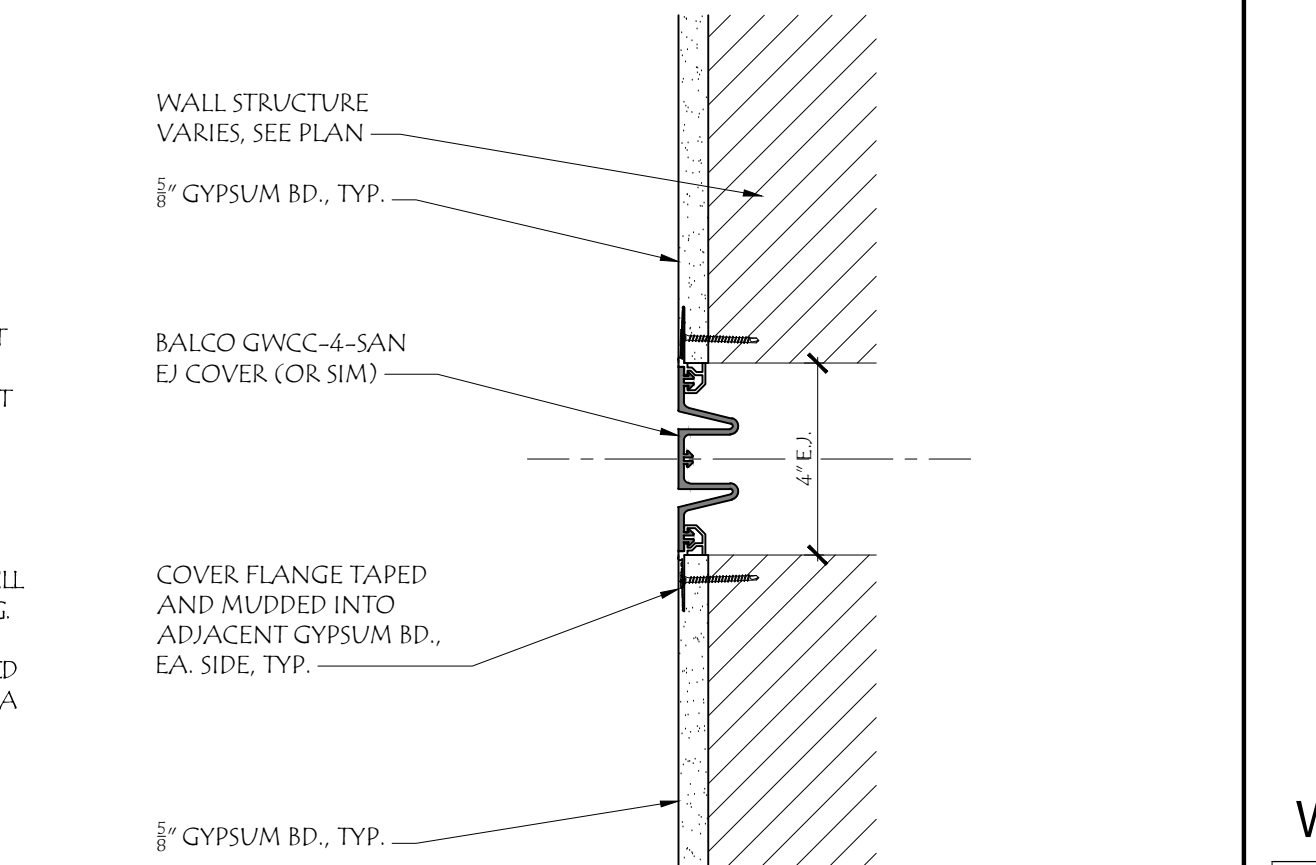
- NOT:** THIS SHEET PICTS TYPICAL CONDITIONS AND IS NOT INTENDED TO OVERRIDE OTHER APPLICABLE CODES. IN THE CASE OF A DISCREPANCY, CONTRACTOR TO NOTIFY ARCHITECT IMMEDIATELY FOR RESOLUTION.



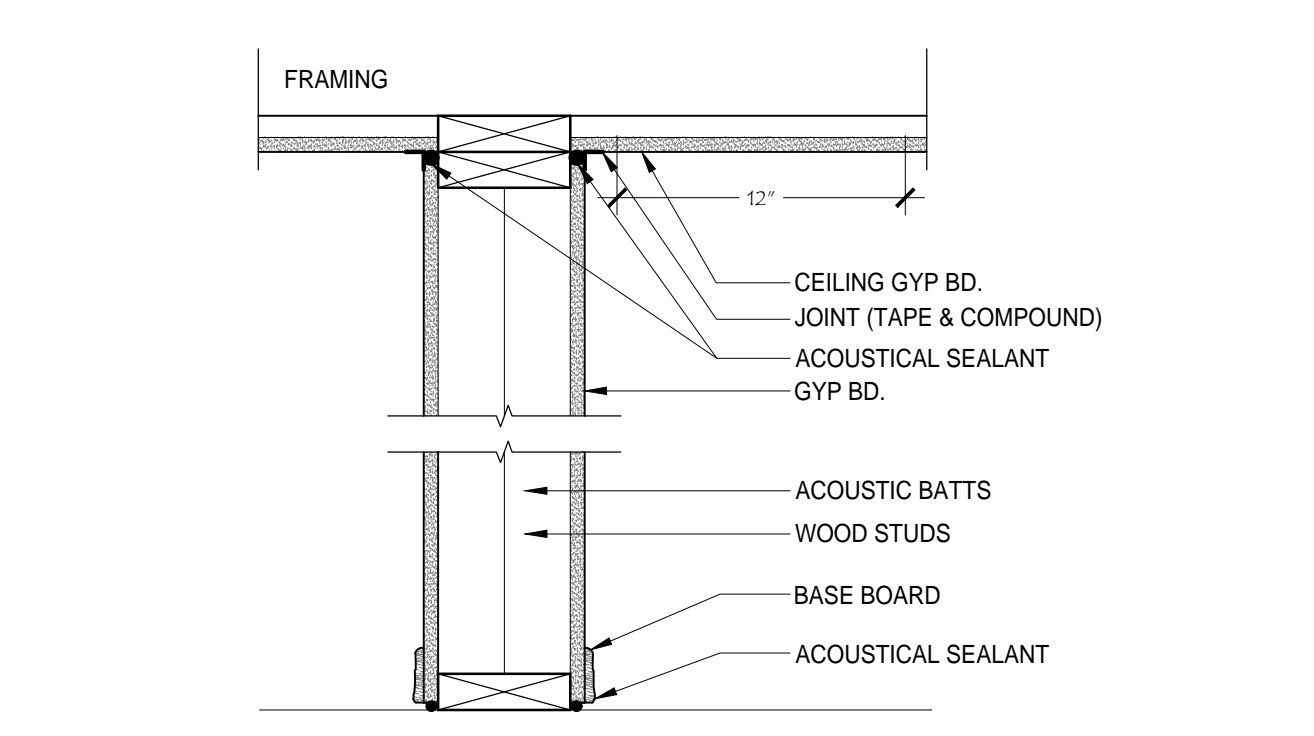
**9 REFRIGERANT/CONTROL WIRING TO HVAC EQUIP.**  
SCALE: 1-1/2" = 1'-0"



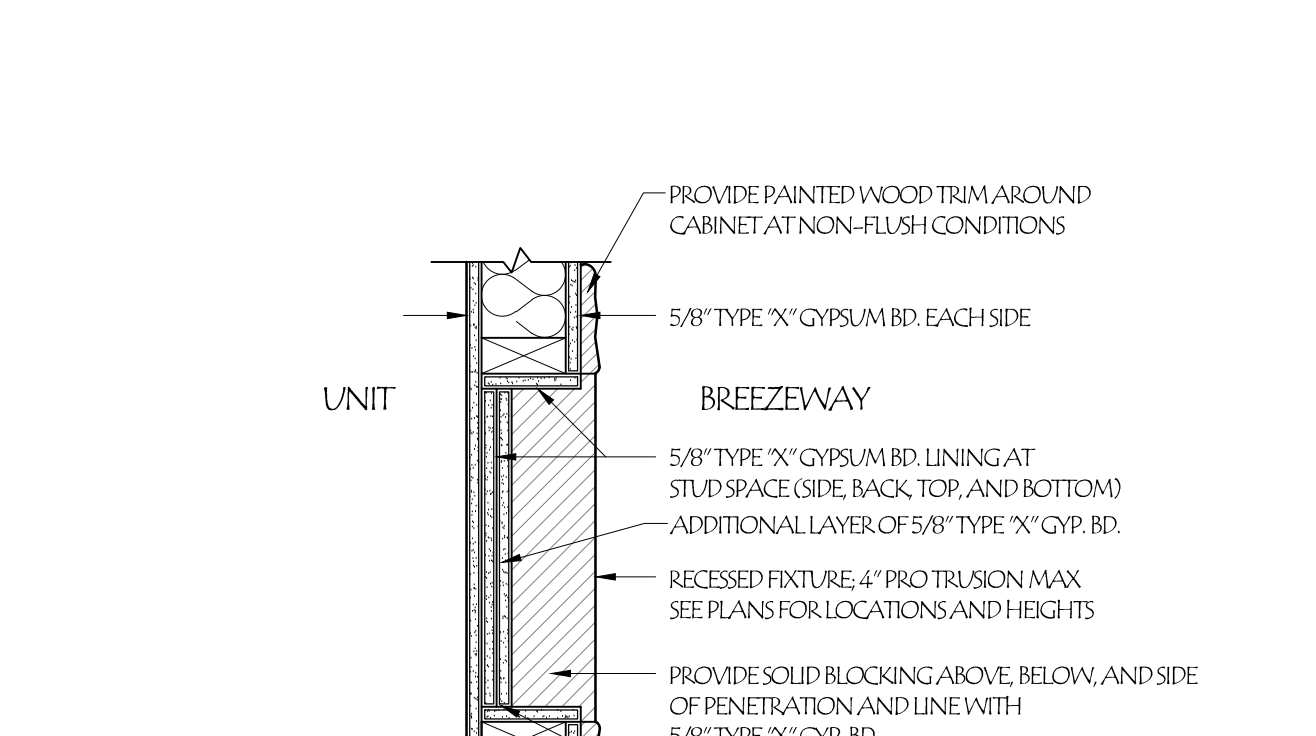
**5 DRYER VENT PENETRATION - SECTION**  
SCALE: 1-1/2" = 1'-0"



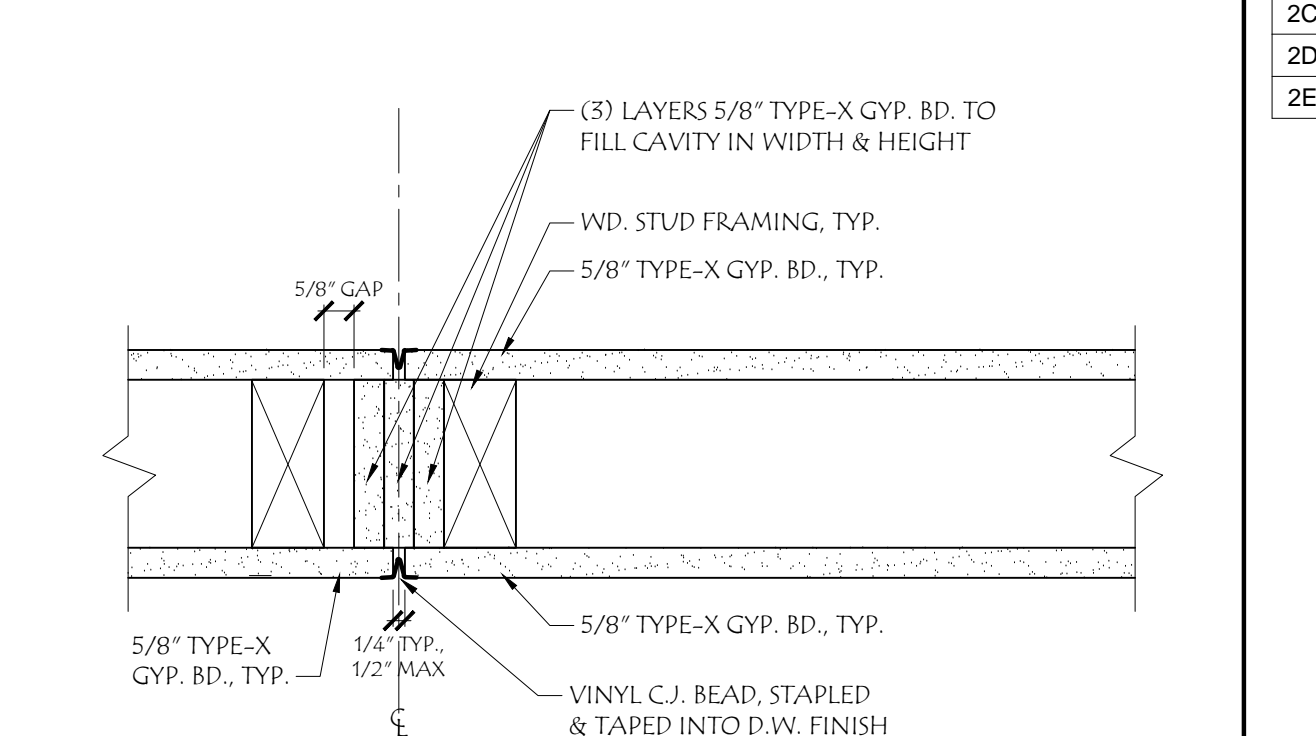
**2 WALL EXPANSION JOINT**  
SCALE: 3" = 1'-0"



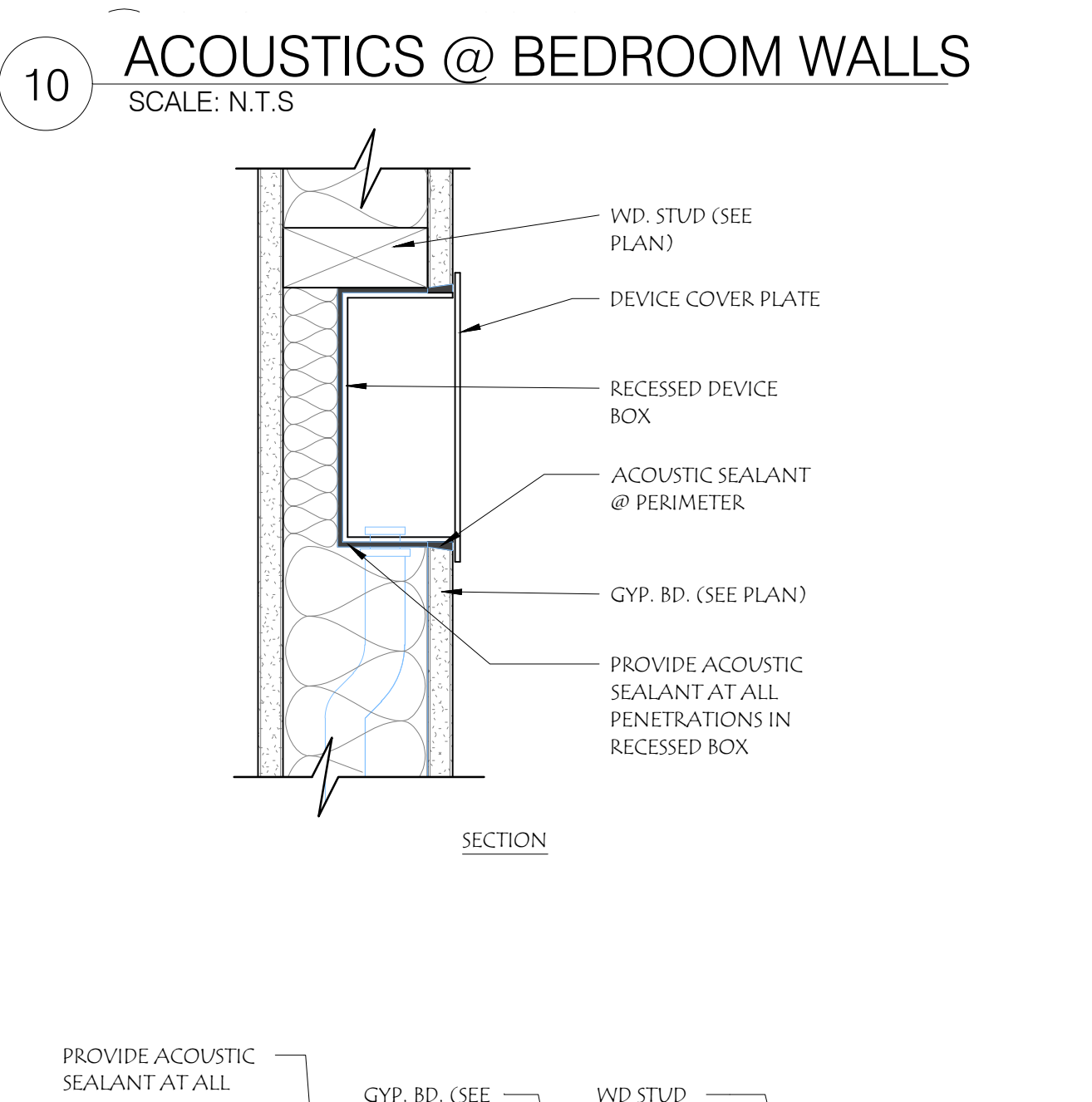
**10 ACOUSTICS @ BEDROOM WALLS**  
SCALE: N.T.S.



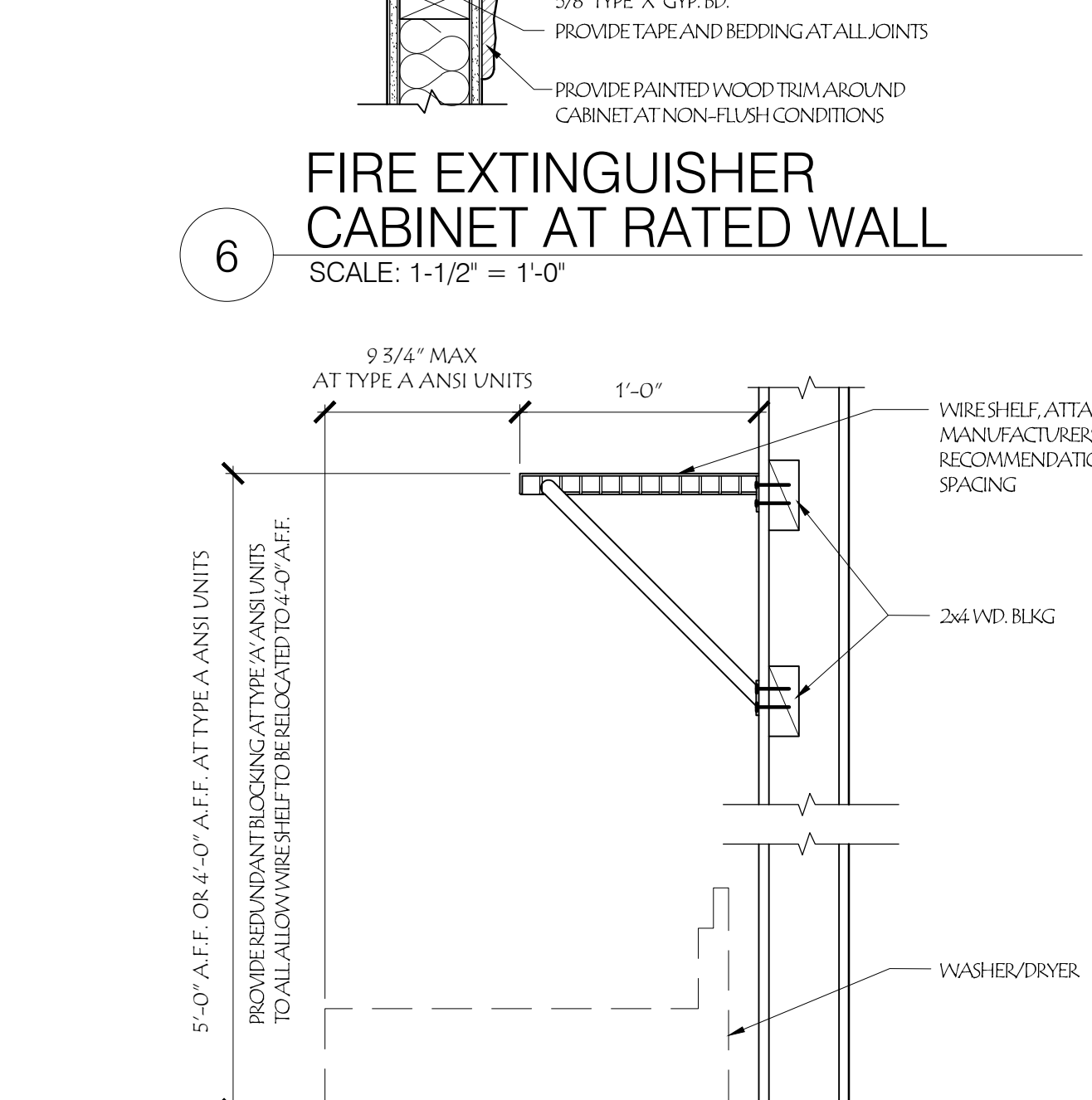
**6 FIRE EXTINGUISHER CABINET AT RATED WALL**  
SCALE: 1-1/2" = 1'-0"



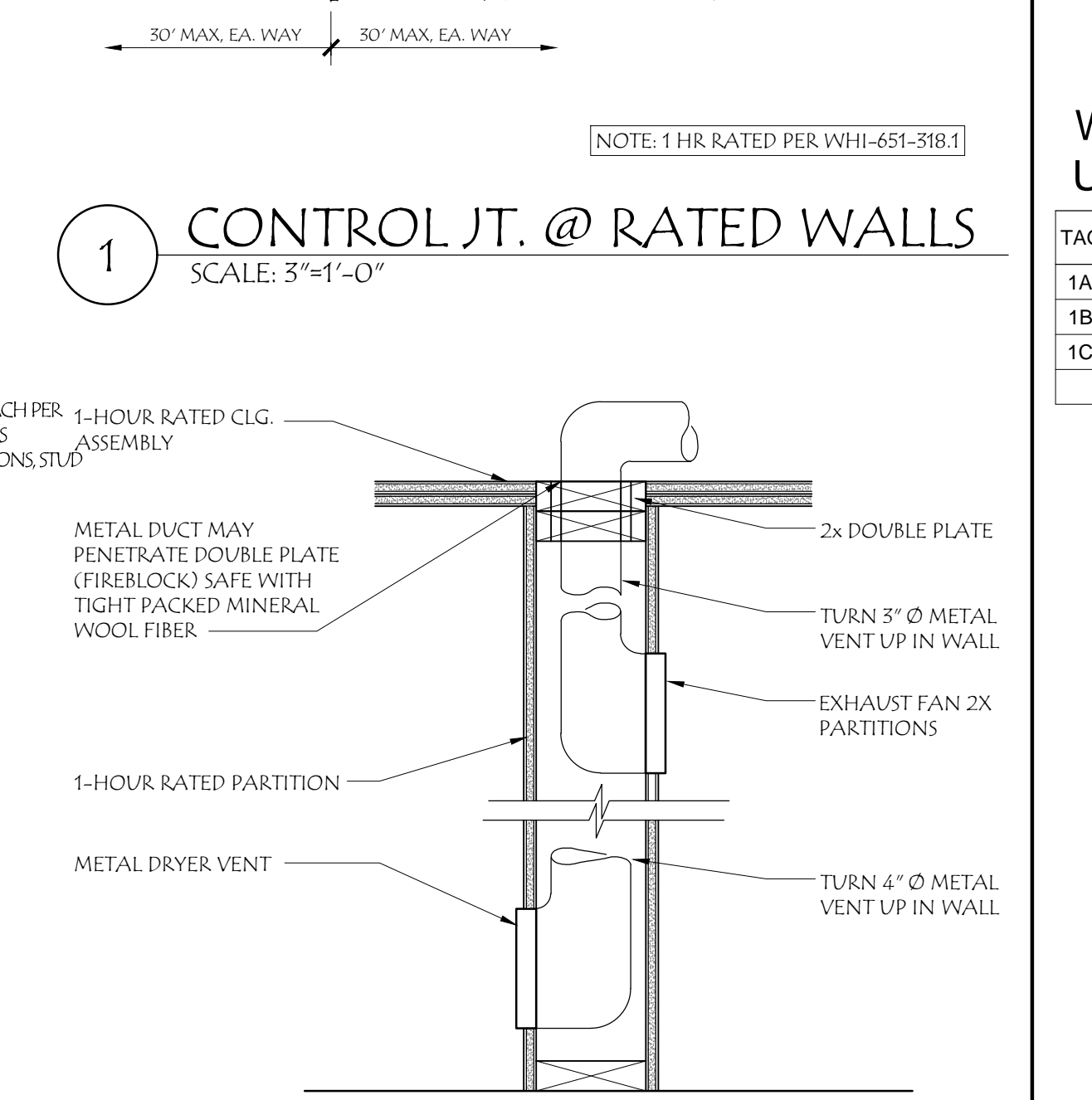
**1 CONTROL JT. @ RATED WALLS**  
SCALE: 3" = 1'-0"



**7 WIRE SHELF AT WASHER**  
SCALE: 1-1/2" = 1'-0"



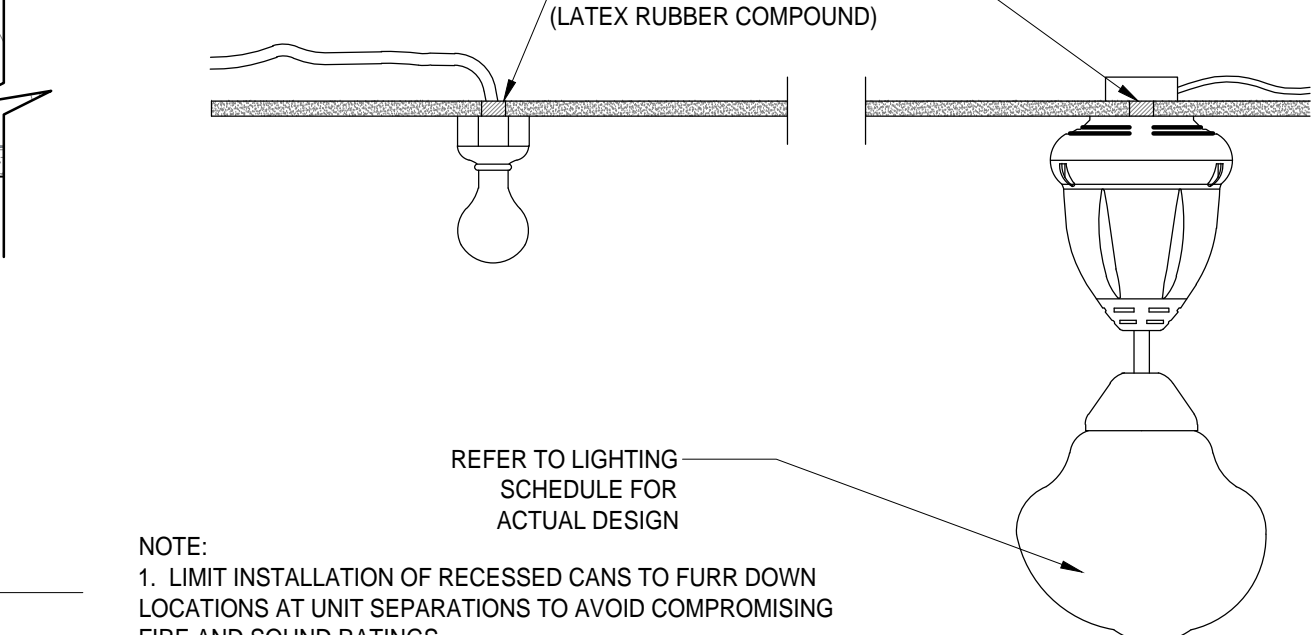
**3 EXHAUST/ DRYER VENT**  
SCALE: 1-1/2" = 1'-0"



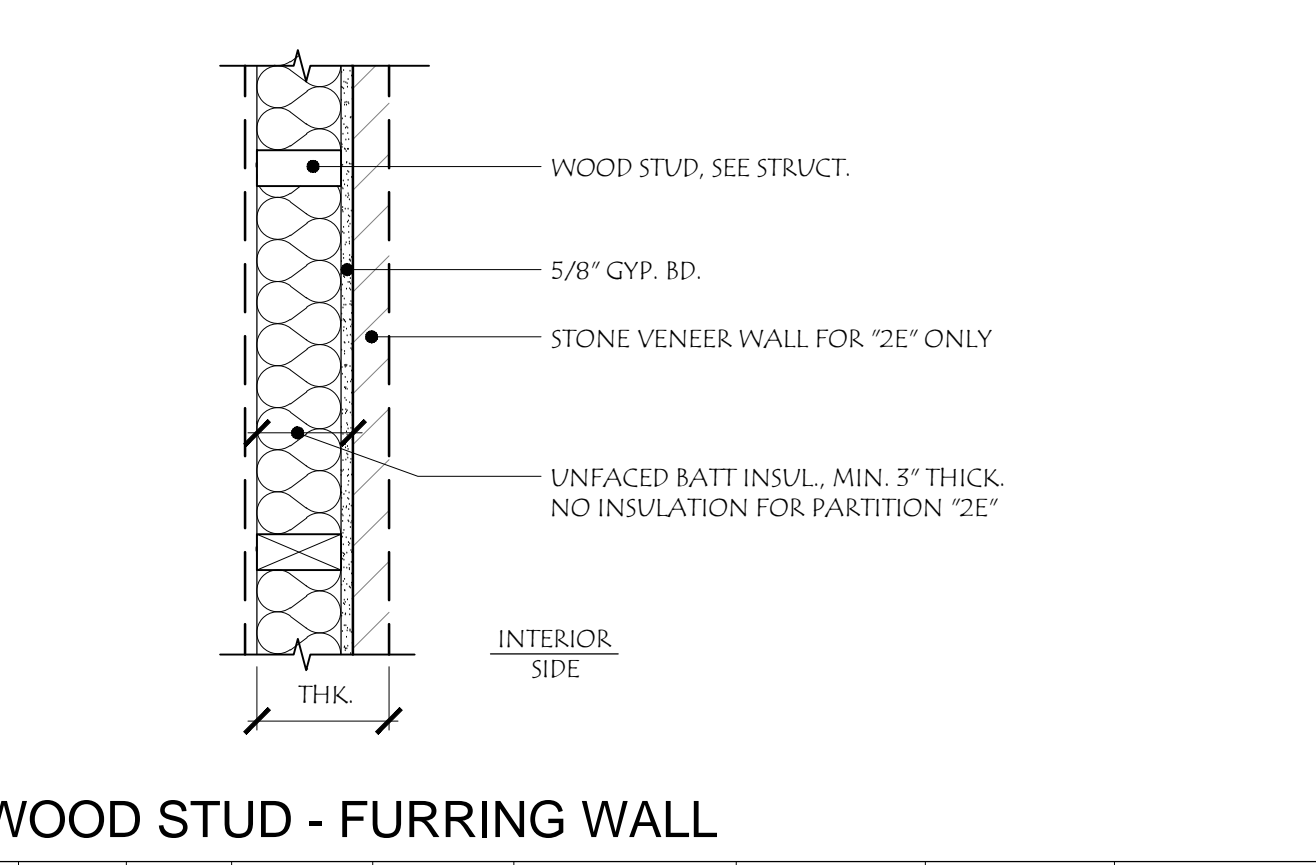
**4 ELECTOUTLET @ DEMISING WALLS**  
SCALE: N.T.S.



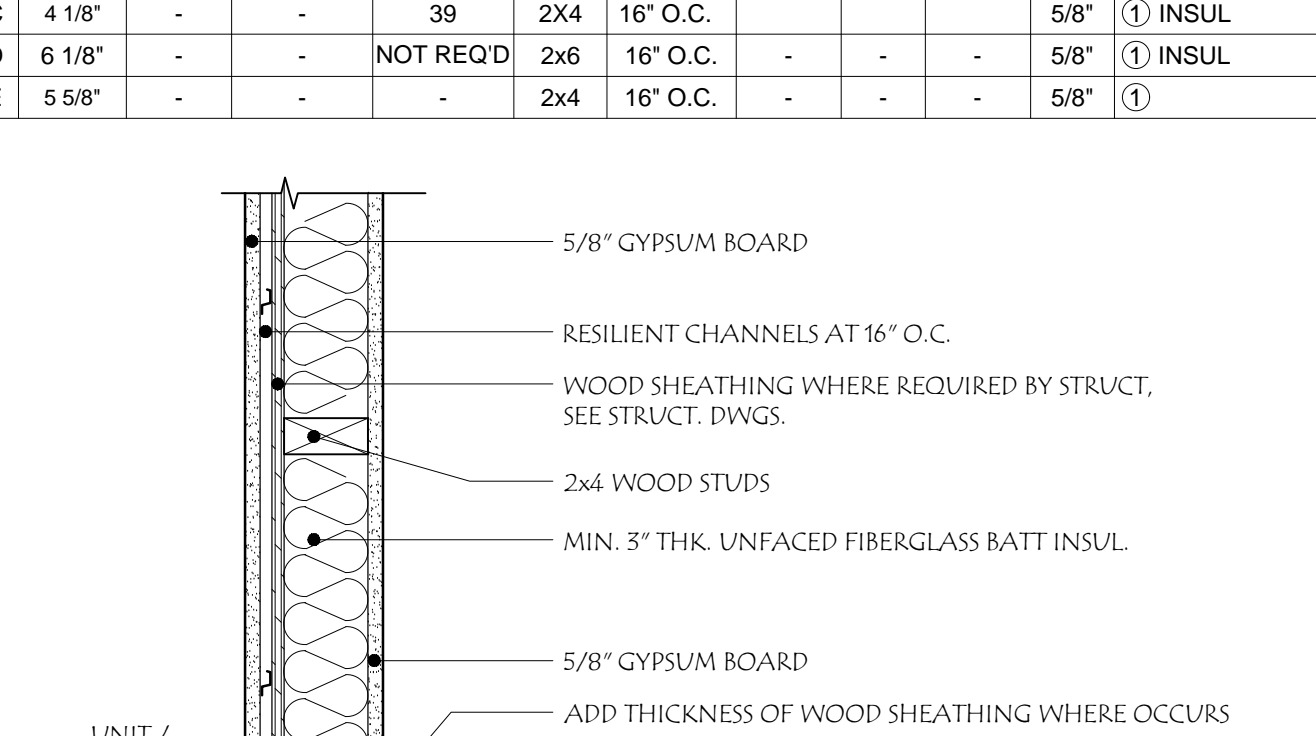
**11 ACOUSTIC PARTITION PENETRATIONS**  
SCALE: 1 1/2" = 1'-0"



**8 LIGHT FIXTURE @ CEILING**  
SCALE: N.T.S.

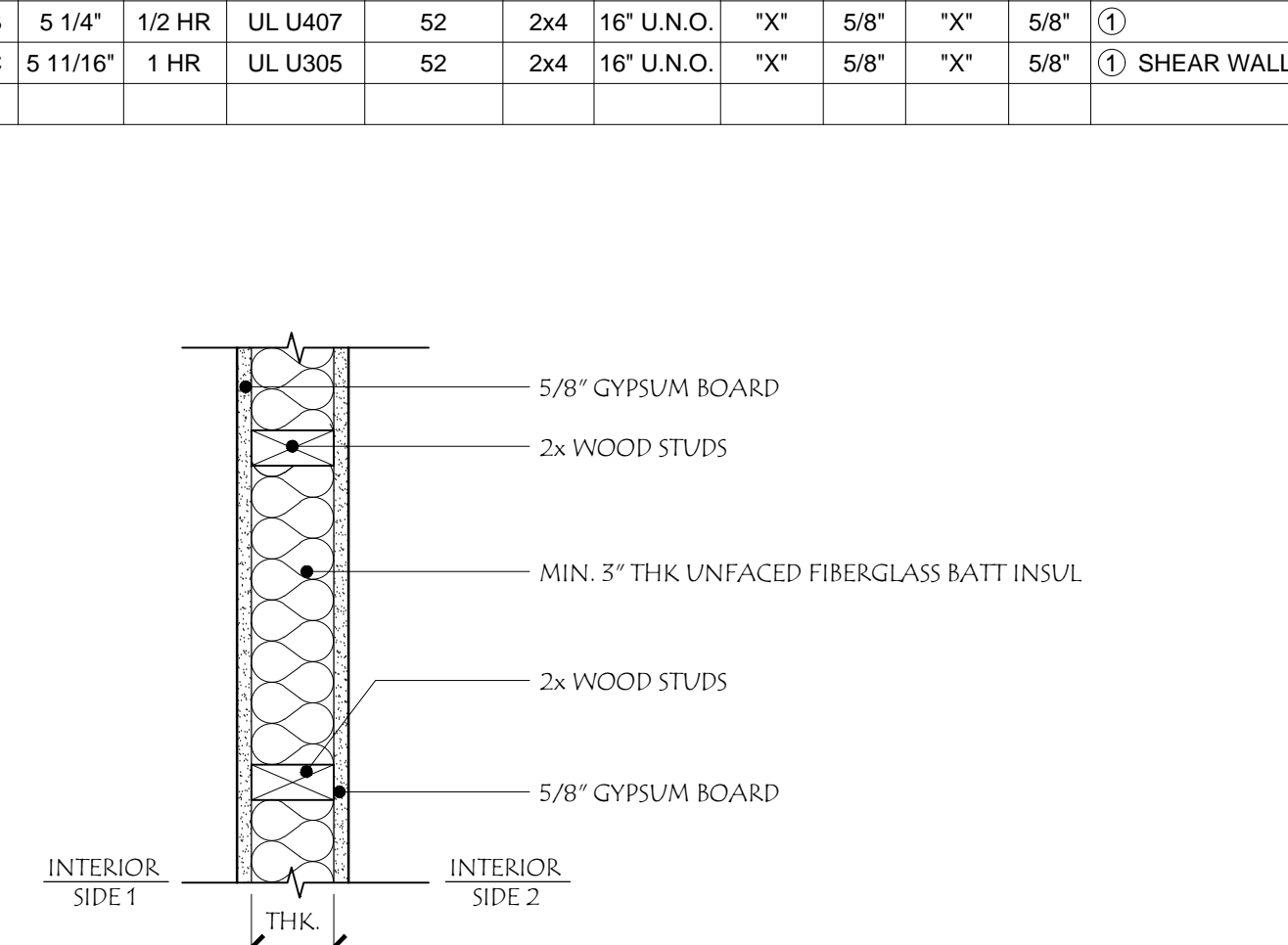


**WOOD STUD - FURRING WALL**



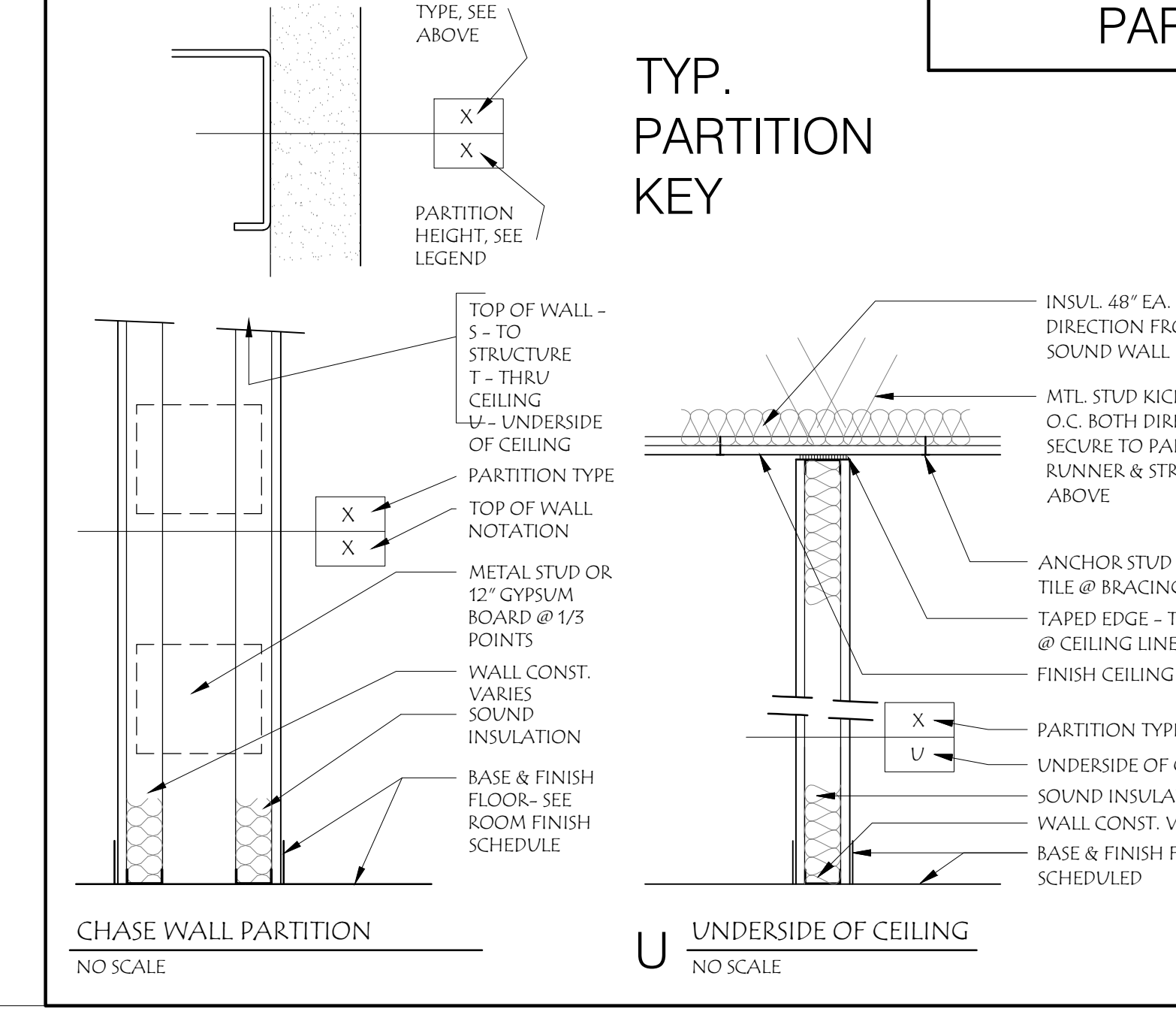
**WOOD - UNIT CORRIDOR WALL / UNIT SEPARATION WALL**

TAG	THK.	FIRE RATING	TEST NO.	STC RATING	FRAMING SIZE	SPACING	GYPSUM BOARD TYPE	THK.	GYPSUM BOARD TYPE	THK.	REMARK
1A	5 1/4"	1 HR	UL U305	52	2x4	16" U.O.	"X"	5/8"	"X"	5/8"	① SHEAR WALL
1B	5 1/4"	1/2 HR	UL U407	52	2x4	16" U.O.	"X"	5/8"	"X"	5/8"	①
1C	5 11/16"	1 HR	UL U305	52	2x4	16" U.O.	"X"	5/8"	"X"	5/8"	① SHEAR WALL

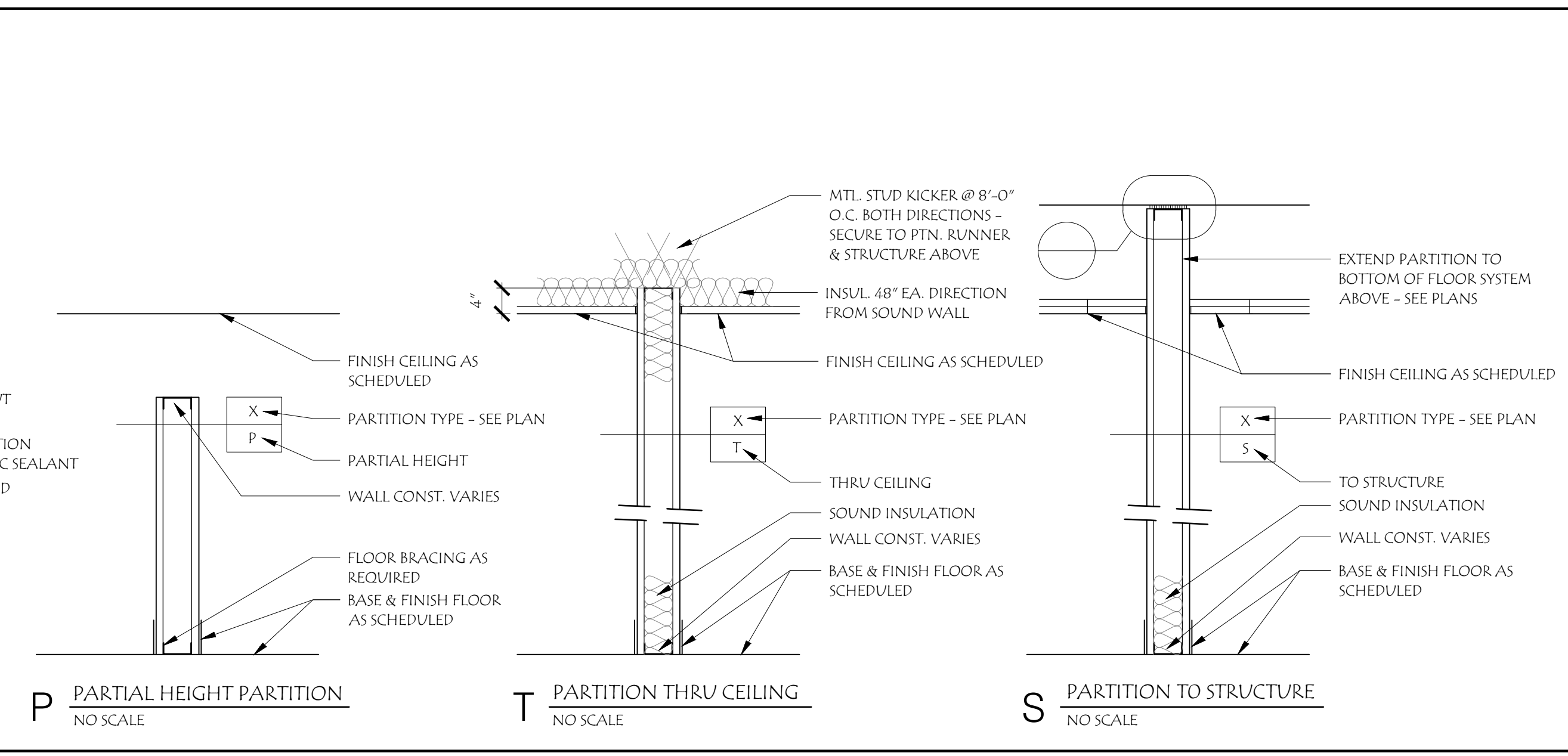


**WOOD - INTERIOR UNIT WALLS**

TAG	THK.	FIRE RATING	TEST NO.	STC RATING	FRAMING SIZE	SPACING	GYPSUM BOARD TYPE	THK.	GYPSUM BOARD TYPE	THK.	REMARK
1E	4 3/4"	1 HR	UL U305	52	2x4	16" U.O.	"X"	5/8"	"X"	5/8"	①
1E.1	6 3/4"	1 HR	UL U305	NOT REQ'D	2x6	16" U.O.	"X"	5/8"	"X"	5/8"	① SOUNDBATT
1E.2	5 3/16"	1 HR	UL U305	NOT REQ'D	2x4	16" U.O.	"X"	5/8"	"X"	5/8"	① SHEAR PANEL
1F	4 3/4"	1 HR	UL U305	39	2x4	16" U.O.	"X"	5/8"	"X"	5/8"	① SOUNDBATT
1F.2	4 3/4"	1 HR	UL U305	39	2x4	16" U.O.	"X"	5/8"	"X"	5/8"	① SOUNDBATT
1G	4 3/4"	1/2 HR	UL U407	NOT REQ'D	2x4	16" U.O.	"X"	5/8"	"X"	5/8"	①
1G.2	4 3/4"	1/2 HR	UL U407	NOT REQ'D	2x4	16" U.O.	"X"	5/8"	"X"	5/8"	①
1H	4 3/4"	1/2 HR	UL U407	39	2x4	16" U.O.	"X"	5/8"	"X"	5/8"	① SOUNDBATT
1H.1	6 3/4"	1/2 HR	UL U407	39	2x6	16" U.O.	"X"	5/8"	"X"	5/8"	① SOUNDBATT
1H.2	6 3/4"	1 HR	UL U407	50	2x6	16" U.O.	"X"	5/8"	"X"	5/8"	① SOUNDBATT
1J	4 3/4"	-	-	-	2x4	16" U.O.	"X"	5/8"	-	5/8"	①
1J.1	5 3/16"	-	-	-	2x4	16" U.O.	"X"	5/8"	-	5/8"	① SHEAR PANEL
1J.2	4 3/4"	-	-	-	2x4	16" U.O.	"X"	5/8"	-	-	①
1K	4 3/4"	-	-	-	39	2x4	16" U.O.	"X"	5/8"	-	①
1K.1	6 3/4"	-	-	-	39	2x6	16" U.O.	"X"	5/8"	-	① SOUNDBATT
1L	6 3/4"	1 HR	UL U305	-	2x4	16" U.O.	"X"	5/8"	"X"	5/8"	①④
1L.1	4 3/4"	1 HR	UL U305	-	2x4	16" U.O.	"X"	5/8"	-	-	①④
1L.2	4 3/4"	1 HR	UL U305	-	2x4	16" U.O.	"X"	5/8"	"X"	5/8"	①④
1M	4 3/4"	1 HR	UL U305	39	2x4	16" U.O.	"X"	5/8"	"X"	5/8"	①④ SOUNDBATT



**PARTITION HEIGHT LEGEND (SYMBOLS FOR EACH HEIGHT OPTION REFERENCED ON PLANS)**



**PARTITION NOTES**

- GENERAL NOTES**  
**FRAMING**  
 A. ALL LOAD-BEARING PARTITIONS SHALL BE CONSTRUCTED PER STRUCTURAL DRAWINGS AND SPECIFICATIONS.  
 B. ALL NON-BEARING PARTITIONS SHALL BE CONSTRUCTED TO LIMIT DEFLECTION PER LATEST PUBLISHED BUILDING CODE RESTRICTIONS AND MANUFACTURERS DATA - WHICHEVER IS GREATER. CHASE WALL SHALL RESIST EXPECTED LOADS PARTICULAR TO SHAFT.  
 C. PROVIDE DOUBLE FRAMING AT JAMBS OF FRAMES AND CASED OPENINGS.  
 D. ISOLATE NON-BEARING FRAMING FROM STRUCTURAL ELEMENTS WITH SLIP CONNECTIONS, ETC. TO PREVENT TRANSFER OF LOADS TO PARTITION FRAMING.  
 E. CONTROL JOINTS (C.J.) TO BE INSTALLED BY GYP. BD. CONTRACTOR, INSTALLED AT MAXIMUM 30'-0" O.C. AND AT MAJOR INTERSECTIONS AT THE WALL SUCH AS DOORS, WINDOWS AND EQUIPMENT. SEE ELEVATIONS FOR ADDITIONAL LOCATIONS. VERIFY LOCATIONS WITH ARCHITECT PRIOR TO INSTALLATION.  
 F. CROSS-BRACING AT ALL CHASE WALL FRAMING TO BE OF 12" HIGH 1 1/2" GYPSUM BOARD OR MINIMUM 2x4 WOOD STUDS - SEE STANDARD DETAIL.  
 G. PROVIDE BLOCKING FOR ALL WALL MOUNTED ARCHITECTURAL, WOODWORK, FINISH CARPENTRY, TOILET PARTITIONS AND ACCESSORIES, RAILINGS, SHELVING AND SIMILAR MOUNTED ITEMS. VERIFY MOUNTING HEIGHTS WITH ARCHITECT AND/OR OWNER.  
 H. FRAMING SHALL COORDINATE WITH REQUIRED MECHANICAL, ELECTRICAL AND OTHER WORK.  
 I. ALL FIRE-RATED PARTITIONS WHICH PENETRATE

**PARTITION REMARKS**

1. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION INCLUDING BEARING WALL LOCATIONS, SHEAR WALL LOCATIONS REQUIRING WOOD SHEATHING, WOOD STUD REQUIREMENTS AND WOOD STUD SPACING.  
 2. "FIRE RESISTIVE" MATERIALS SHOWN FOR U.L. RATINGS ARE REQUIRED AT LOAD BEARING WALLS NEAR FIRE WALLS AS SHOWN ON PLAN.  
 3. SEE STRUCTURAL DRAWINGS FOR WALL REINFORCING.  
 4. SMOKE PARTITION  
 1. ALL CORNERS AND EXPOSED EDGES OF GYPSUM BOARD SHALL BE FINISHED WITH TAPED-IN METAL TRIM ACCESSORIES. EXPOSED TRIM SHALL BE USED WHEN SHOWN ON DRAWINGS.  
 2. ALL FIRE-RESISTANT RATED PARTITIONS SHALL BE CONSTRUCTED IN STRICT ACCORDANCE WITH THE REFERENCED FIRE RESISTANCE TEST. IF NO TEST IS REFERENCED, AN INDUSTRY RECOGNIZED FIRE RESISTANCE TEST SHALL BE USED.  
 3. ALL FIRE-RESISTANT RATED PARTITIONS SHALL EXTEND FROM FINISH FLOOR TO FIRE-RESISTANT RATED HORIZONTAL ASSEMBLY ABOVE.  
 4. APPROVED FIRE-RESISTIVE MATERIALS MUST BE USED AT ALL PENETRATIONS THROUGH FIRE RATED PARTITIONS.

The Professional Architects and related to this sheet indicate that the named Architect has prepared or checked the preparation of the material elements on this sheet. Other changes and documents not indicated on the sheet shall be considered incorrect by the responsibility of the undersigned.  
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05/23/19  
 06/12/19  
 BID / PERMIT / CONST.  
 ADDENDUM #1  
 PROJECT NUMBER:  
 18036.00  
**PARTITION TYPES**  
**A9.10**